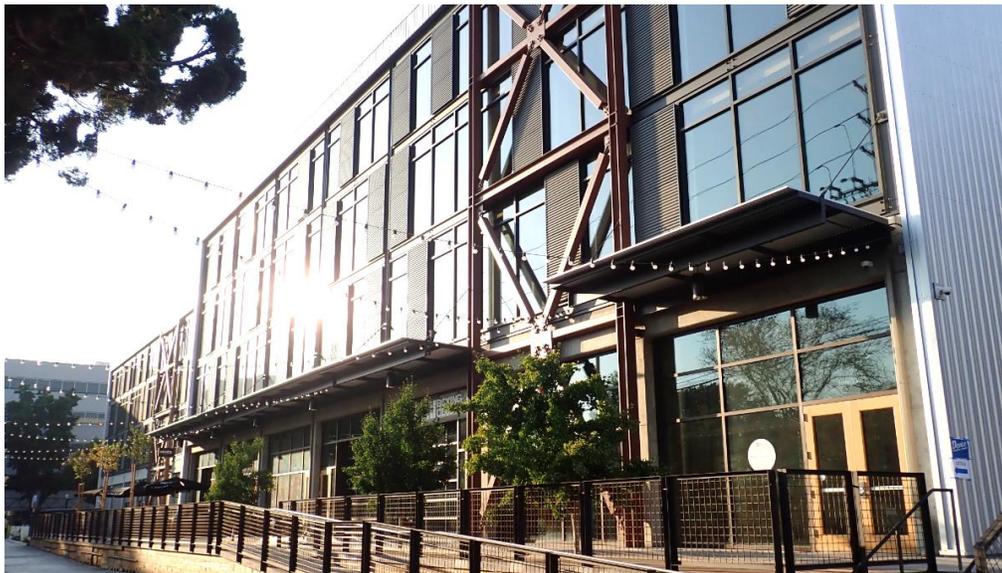




3.0 | LAND USE REGULATIONS, DEVELOPMENT STANDARDS AND DESIGN GUIDELINES







3.1 | PURPOSE AND INTENT

Land use and development within the Plan Area is subject to conformance with the permitted uses, the site development regulations, development standards and design guidelines as outlined in this chapter. The permitted land uses and development standards/design guidelines are informed by the Vision, by the District Concepts, Character and Specific Plan Policies described in Chapters 1 and 2. These elements work together to create a use-compatible, visually distinct and vibrant community while retaining appropriate design flexibility at the project level. Engaging, yet seamless transitions between innovative research spaces, multi-functioning parks and network trails, and new and existing neighborhoods within the Plan Area will result in a sense of place that is both internally distinctive and a natural extension of the Woodland community. The intent is to provide a clear and concise set of regulations, standards and guidelines that builders, developers, property owners and City staff can rely on to implement development within the Plan Area in an efficient manner.

This chapter establishes the permitted land uses and primary development standards within the Plan Area and supersedes the requirements of the Zoning Ordinance (Title 17) of the Woodland Municipal Code (WMC) and the Woodland Community Design Standards. Where direction is not provided in this Specific Plan, the provisions of the WMC may be considered. The Community Development Director shall have the authority to determine the most appropriate zoning correlation between the Specific Plan and WMC where necessary. If an issue or situation arises that is not sufficiently provided for in the Specific Plan, those regulations of the Zoning Ordinance that are most applicable shall be used by the Community Development Director as guidelines to resolve unclear issues. Additional information pertaining to the implementation of this Chapter including interpretations and modifications can be found in Chapter 7, Administration.

3.2 | ZONING CLASSIFICATIONS

3.2.1 Purpose

To carry out the purpose and provisions of the Specific Plan, the Plan Area is divided into land use designations. This chapter contains general information such as statements of purpose and expectations for each land use type. The precise use regulations for each land use designation are found in Section 3.3. The Development Standards are found in Section 3.4.

The Land Use Plan, Exhibit 2.2, depicts the land uses assigned to all portions of the Plan Area. The 14 land use zones fall under 4 sub-categories; Research/Tech Park, Commercial and Mixed Use Zones; Residential Zones and Open Space/Park Zones. A general summary of the zoning designations is provided in Section 3.2.4.

3.2.2 Applicability

No building, structure, vehicle, sign, or area shall be used, altered, moved, enlarged, or stored in any zoning district except as specifically allowed in underlying zoning district and by the regulations of any applicable combining district.

3.2.3 Prohibition

No property in any zoning district shall be used in any manner so as to create problems contrary to public health, safety, or general welfare or so as to constitute a public nuisance.

3.2.4 Description of Zoning Categories

A. Employment: Research Technology Park and Commercial Use Zones

The employment zones include the Research Technology Park, Highway Commercial and Village Center Mixed Use. The Research Technology Park category has the primary zone of RTP and three (3) RTP overlay zones: Transitional, Community Commercial and Research Flex. The purpose of the RTP overlay zones is to “fine-tune” the list of uses and development standards in the designated locations to provide compatibility with surrounding uses and to purposely target specific uses to certain locations within the Technology Park Districts.

- **RTP-Research Technology Park:** The RTP zone provides for a campus-like environment with a variety of parcel sizes designed to accommodate a wide variety of technology and research based businesses, including but not limited to large research and development operations with production and point-of-sale facilities, laboratory, light manufacturing and assembly, professional/corporate offices as well as a limited list of other business support uses.
- **RTP/TO-Research Technology Park/Transitional Overlay:** The RTP/TO zone is similar to the RTP base zone, however with the RTP/TO location more internal to the District and abutting the Village Center, the more intense industrial uses are limited and the professional offices, retail and personal services uses are expanded.
- **RTP/CCO-Research Technology Park/Community Commercial Overlay:** The RTP/CCO zone is similar to the RTP base zone, however the RTP/CCO location at the primary gateway on Road B anticipates integration of commercial uses that complement the RTC uses.
- **RTP/RFO-Research Technology Park/Research Flex Overlay:** The RTP/RFO zone is similar to the RTP base zone with a greater emphasis on light manufacturing uses and research facilities.
- **HC-Highway Commercial:** The HC zone accommodates uses such as hotels, vehicle service stations, restaurants and other retail or service uses serving the Plan Area, surrounding community and region.
- **VCMU-Village Center Mixed Use:** The VCMU zone accommodates smaller format commercial spaces and mixed-use buildings to attract retail/food venues and co-working spaces with integrated residential and office uses permitted. The density range for residential uses in the VCMU is 20.0-40.0 dwelling units per gross acre (du/ac).



B. Residential Zones

The 6 residential zones include 2 types of Low Density Residential, 2 types of Medium Density Residential and 2 types of High Density Residential.

- **LDR-Low Density Residential**: The LDR zone accommodates single family detached homes on standard size lots. Alternative lot configurations such as alley, cluster or halfplex lots may also occur. The density range is 1.0-8.0 dwelling units per gross acre (du/ac).
- **VCLDR-Village Center Low Density Residential**: The VCLDR zone accommodates a variety of home types for those that desire a centralized location in the Town Center. Alternative lot configurations such as alley, cluster or halfplex lots are anticipated in addition to detached standard lots. The density range is 1.0-8.0 dwelling units per gross acre (du/ac).
- **MDR- Medium Density Residential**: The MDR zone accommodates a range of attached and detached housing types, including small-lot subdivisions, duplexes, triplexes, zero-lot-line developments, townhouses and other housing types. The density range is 8.1-19.9 dwelling units per gross acre (du/ac).
- **VCMDR-Village Center Medium Density Residential**: The VCMDR zone accommodates a variety of housing opportunities for those that desire a more centrally located and lively residential experience in the Village Center. Contemporary row houses, townhouse, small lot, cluster and detached units are permitted. The density range is 8.1-19.9 dwelling units per gross acre (du/ac).
- **HDR-High Density Residential**: The HDR zone accommodates a broad range of attached housing types, including triplexes, fourplexes, row houses, and stacked flats (apartments or condominiums). Units can be contained in single structures or in a collection of cohesive structures with common open spaces and amenities. The higher density range provides for the opportunity for multi-story structures with centrally located parking in order to provide urban intensity. The density range is 20.0-40.0 dwelling units per gross acre (du/ac).
- **HDR/CCO-High Density Residential/Community Commercial Overlay**: The HDR/CCO zone accommodates the same uses as described for HDR but additionally permits retail, business and personal services, grocery stores, restaurants to promote a direct, walkable linkage between the adjacent technology park uses and surrounding neighborhoods to enable convenient access to goods and services. The density range is 20.0-40.0 dwelling units per gross acre (du/ac).

C. Open Space/Park Zones

- **VCOS- Village Center Open Space**: The VCOS zone applies to the park, known as The Yard. The uses in the VCOS are primarily recreation, however the zone does allow a variety of commercial uses which complement and support the Village Center. This includes the Promenade adjacent to the Yard.
- **OS-Greenbelts, Open Space and Public Drainage Facilities**: The OS zone applies to the greenbelts, linear open space corridors, and the 4.2-acre detention pond located at the southeast corner of the Plan Area. The uses allowed in the OS are generally passive recreation and stormwater management.

3.3 | PERMITTED USES

The purpose of this section is to establish land use classifications and to explain how land uses are regulated in this document. This section explains the Use Classification system, the allowed use and permit requirements, how uses not listed are regulated, and how similar uses are determined. It is not feasible to list every possible use, so general categories are provided, specific uses are identified as needed, and a process is provided to classify uses that do not clearly fit into a use classification.

In order to simplify land use regulations, land uses listed in the use have been grouped into general categories on the basis of common function, product, or compatibility characteristics. These general allowed use categories are called "Use Classifications." Use classifications describe one or more uses having similar characteristics but do not list every use or activity that may appropriately be within the classification. The following rules apply to use classifications:

A. Illegal Uses. No use that is illegal under local, state, or federal law shall be allowed in any Zone within the Plan Area.

B. Similar Uses. When a use is not specifically listed in this document, it shall be understood that the use may be permitted if the Director determines that the use is similar to other uses listed based on established criteria and required findings. It is further recognized that every conceivable use cannot be identified in this document and, anticipating that new uses will evolve over time, the Director may make a Similar Use Determination to compare a proposed use and measure it against those uses listed.

3.3.1 Permitted Land Uses and Requirements

Table 3.1 identifies permitted uses in each of the zoning designations. Generally, a use is allowed by right, allowed through issuance of a zoning administrator permit, a conditional use permit, is an ancillary use or is not permitted. Refer to the Woodland Municipal Code (WMC) for detailed description of each approval process.

Minimally, staff level Site Plan and Design Review approval is required for all new construction that requires a building permit with the exception of Tenant Improvements not visible from the public right of way. For residential uses, and for non-residential uses that are permitted by-right, Site Plan and Design Review shall be considered a ministerial action for the purposes of CEQA when plans conform to applicable Development and Design Standards. Site Plan and Design Review for non-residential uses that require a Zoning Administrator or Conditional Use Permit will be considered in conjunction with the review of the required permits, which are considered discretionary for the purposes of CEQA.

All uses are subject to the Performance Standards listed in Section 3.3.2 below and shall



demonstrate consistency with the 2035 Climate Action Plan (CAP) as outlined in Section 3.3.3.

The permitting requirements identified in these tables are:

A. Permitted (P). A land use shown with a “P” indicates that the land use is permitted by right in the designated Zone, subject to applicable provisions of this Specific Plan (e.g., development standards, Design Review) and subject to the Performance Standards listed in Section 3.3.2.

B. Zoning Administrator (Z). A land use shown with a “Z” indicates that the land use is permitted in the designated Zone upon issuance of a Zoning Administrator Permit from the designated Approving Authority, subject to compliance with all applicable provisions of this Specific Plan (e.g., development standards, Design Review) and subject to the Performance Standards listed in Section 3.3.2.

C. Conditional (C). A land use shown with a “C” indicates that the land use is permitted in the designated Zone upon issuance of a Conditional Use Permit from the designated Approving Authority, subject to compliance with all applicable provisions of this Specific Plan (e.g., development standards, Design Review) and subject to the Performance Standards listed in Section 3.3.2.

D. Ancillary (A). Ancillary to or in support of an approved primary use.

E. Not Permitted (X). A land use shown with an “X” in the table is not allowed in the applicable Zone.

3.3.2 Performance Standards

All uses as described in Section 3.3.1 are subject to the following Performance Standards. Any deviation or requested exceptions for the standards below are subject to elevated discretionary review and/or environmental review; the Community Development Director shall, at his/her discretion, elevate the permit to a Zoning Administrator or Conditional Use Permit. The performance standards are intended to ensure that uses and activities are conducted in a manner that protects the public health and safety and do not produce adverse impacts on surrounding properties or the community at large.

A. Lighting. All lighting, reflective surfaces, or any other sources of illumination shall be designed and located in a manner that produces no substantial glare on public streets or on any other parcel that could impact public safety or the enjoyment of private property. Lights shall be of the minimum illumination necessary for a given application and shall be directed downward and shielded at lot lines so as to confine all direct rays to the premises on which it is located. Exterior lighting shall be shielded as necessary to reduce offsite light/glare impacts.

B. Fire Hazards. The storage, use, transportation, or production of products which, either in the raw or finished state, constitute a flammable or explosive material shall be subject to approval of the Fire Department (as example, flour milling or nut shell processing). Burning of waste materials

in open fires or unapproved incinerators is prohibited.

C. Liquid or Solid Waste. The use, handling, storage, and transportation of waste materials, including hazardous wastes, shall comply with the provisions of the California Hazardous Materials Regulations and any other applicable laws. Discharge at any point into a public or private sewage disposal system, stream, or the ground, of any material that could contaminate any water supply, or otherwise cause the emission of dangerous or offensive elements is prohibited. No exceptions are allowed unless in accordance with regulations, licenses or approvals of the various local and state agencies having jurisdiction over such activities.

D. Odor, Particulate Matter and Air Contaminants. No continuous, frequent, or repetitive odors are permitted that are perceptible on or beyond adjacent lot lines or in the public right-of-way with the exception of food/beverage related odors typical of an urban/mixed use setting such as coffee shop, bakery, brewery related odors. An odor detected no more than a total of 15 minutes in any one day shall not be deemed to be continuous, frequent or repetitive as used in this subsection. No dust or particulate matter shall be emitted that is detectable beyond property lines by a reasonable person without instruments. Exhaust air ducts shall be located or directed away from abutting residentially-zoned properties.

E. Vibration. Machinery used for manufacturing and industrial processes, including oil and gas collection, processing, and distribution must be designed and housed to ensure that vibration will be reduced to an amount undiscernible without the aid of instruments by a reasonable person at the lot lines of the site. Vibrations from temporary construction, demolition, and vehicles that enter and leave the subject parcel (e.g., construction equipment, trains, trucks, etc.) are exempt from this standard.

F. Noise Standards. Noise produced by commercial and/or industrial machinery and/or equipment detected at the property line must be restricted to Monday through Saturday and not begin before 7:00AM and must cease after 6:00PM. Applicants for proposed projects may be required to provide evidence that all of the applicable requirements relating to noise may be satisfied by the project prior to approval. Provisions contained in Chapter 8 of the 2035 General Plan shall apply in addition to other applicable sections of the Municipal Code that relate to noise and nuisance considerations. Table 8.6 of the General Plan provides noise level performance standards that apply to the noise sources themselves for new projects and existing non-transportation sources.

E. Truck Trips. For any individual use, a limit of 25 diesel-powered trucks or 50 one-way diesel-powered truck trips, with no more than 40 one-way truck trips having diesel-powered transportation refrigeration units, shall be permitted per day. Logistics/Distribution uses are prohibited within the WRTP Plan Area as a primary use. Where ancillary to permitted uses, storage areas shall be limited to not more than fifty percent (50%) of gross building square footage and not more than 89,000 square feet, whichever is less.



3.3.3. Climate Action Plan Consistency

- A. All new development projects and major expansion projects shall provide a summary of incorporated conservation measures, consistent with the City's 2035 Climate Action Plan (CAP), adopted with the General Plan in 2017. For each CAP strategy and related "action" relevant to new development projects, the City will determine: (a) the project is consistent; (b) the project with conditions or when modified would be consistent; (c) the strategy is relevant for new development, but not the subject project; or (d) the project includes one or more replacement strategies that would be equally or more effective in reducing GHG emissions and such replacement strategy or strategies are not included in the CAP or required by any other regulation, standard, design criteria, or other existing requirement.
- B. All projects shall complete and submit the City's CAP Consistency Checklist for review and approval by the City prior to project approval. The CAP Consistency Checklist allows proposed development projects to demonstrate consistency with the CAP.
- C. Consistent with General Plan Policy 2.L.2, all projects shall strive to meet net zero energy consumption through the incorporation of conservation measures above Title 24 standards and shall, at minimum, demonstrate consistency with CalGreen Tier 1 standards.
- D. Additional GHG reductions strategies and sustainability measures shall be considered in major expansion projects and in the ongoing operations and use of all commercial and residential projects within the Plan Area including, but not limited to, Energy Conservation, Water Conservation/Quality and Low Water Landscape measures as outlined in Sustainability Guidelines Sections 3.5.3.B for commercial uses and Section 3.5.12.B for residential.

3.3.4 Temporary and Transitional Uses

The following special uses are encouraged in the Plan Area subject to the permitting requirements, performance standards and in the use descriptions below. The following limited term/temporary uses are intended to provide dynamic and diverse retail opportunities and increased foot traffic throughout the Plan Area, while supporting small startup companies, artists and entrepreneurs.

A. Pop-Up Uses and Mobile Food/Retail Vendors

Pop Up uses refer to the temporary activation of a vacant/underutilized storefront or property for commercial/retail or art/design showcase and sales purposes. Food/Retail Vendors refers to food trucks and mobile retailers.

1. Pop-Up uses and mobile food/retail vendors are temporary in nature, and subject to operating guidelines established by the Community Development Department and subject to a Pop Up and/or Mobile Food/Retail Vendor Permit ("Vendor Permit") issued by the Community Development Department.
2. Pop-Up uses located within a permanent structure do not require a final certificate of occupancy, but do require a temporary certificate of occupancy.
3. Unless otherwise approved in writing by the City's Community Development Department, pop-up and mobile vendors shall be located on private property, not within the public right-of-way. A current City business license and all applicable health and safety permits shall be maintained at all times by any pop-up and mobile vendors.

4. Pop-up hours of operation shall generally be limited to 8am to 10pm, unless otherwise approved by the City.
5. The permitted duration of the use shall be outlined in the Vendor Permit based on the type of use, location and whether they are associated with a specific event or function. Generally, mobile food and retail vendors shall be limited to 2 hour parking, unless associated with an event or function of longer duration. Pop-up uses located within permanent or semi-permanent structures may be permitted for up to 1 year, subject to annual renewal.
6. Pop-Up and mobile vendors are not required to provide off-street parking.
7. Pop-Up uses must adhere to Specific Plan Design Standards and Guidelines, Building Code requirements for signage, restroom and life/fire safety and all Fire and Health Code requirements as applicable.

B. Temporary and Transitional Uses

1. Uses such as coffee kiosks, shipping container eateries/beer gardens, and other “low barrier” entry, transitional and temporary uses may be located within the commercial, Research and Technology Park and Village Center Districts subject to a Zoning Administrator Permit and Transitional/Temporary Use Agreement. Such uses are intended to activate underutilized parcels as more permanent projects are completed over time. The Zoning Administrator Permit shall establish the appropriate timeline for such uses.
2. Transitional Temporary uses must adhere to Specific Plan Design Standards and Guidelines, and Building, Fire and Health Code requirements for signage, restroom and life/fire safety as applicable.



TABLE 3.1: PERMITTED USES		ZONING DESIGNATIONS													
USE TYPES	RESEARCH AND TECH PARK				COMMERCIAL/MIXED USE			RESIDENTIAL					OPEN SPACE		
LEGEND P= Permitted Z = Zoning Administrator Permit C = Conditional Use Permit A = Ancillary to or in support of an approved primary use Blank-- Not Permitted	RTP	RTP/ TO	RTP/ CCO	RTP/ RFO	HC	VCMU	HDR/ CCO	HDR	VCMDR	MDR	VCLDR	LDR	VCOS	OS/GB	Foot notes
Research/Technology, Light Industrial/Manufacturing/Ag Production and Processing															
Accessory buildings	P/A (1)	P/A (1)	P/A (1)	P/A (1)	P/A (2)	P/A (2)		P (34)	P(34)	P (34)	P (34)	P(34)			1,2,34
Agricultural Production – Light (3)	P/A			P/A											3
Agricultural Uses/Structures (3)	P/A			P/A									P		3
Agricultural or Seed Processing/Packaging and Manufacturing	P	P	P	P											
Brewery/Distillery (see also Microbrewery)	P	P	P	P		P(4)									4
Commercial Cannabis Testing	C(5)			C(5)											5
Commercial Cannabis Manufacturing and/or Distribution				C(5)											5
Hemp Distribution	C(5)			C(5)											5
Employee oriented services/ amenities (e.g. fitness studio, cafeteria, day care center, ATM)	P/A	P/A	P/A	P/A	P/A	P							P (6)		6
Light Industrial	P	P(7)	P(7)	P											7
Medium Industrial	Z(8)			Z											8,9

LEGEND P= Permitted Z = Zoning Administrator Permit C = Conditional Use Permit A = Ancillary to or in support of an approved primary use Blank-- Not Permitted	RTP	RTP/ TO	RTP/ CCO	RTP/ RFO	HC	VCM U	HDR/ CCO	HDR	VCMDR	MDR	VCLDR	LDR	VCOS	OS/GB	Foot notes
Research and Development including agri-tech, seed research, plant breeding, and similar uses	P	P	P	P		P(4)									4
Specialty Food Processing	P	P	P	P											
Offices, Business and Professional															
Banks		P	P			P	P								
High-Tech Office and Corporate Headquarters	P	P	P	P		P(4)	P(4)								4
Medical or Dental Offices		P/A	P			P(12)	P								12
Professional and Administrative Offices	P	P	P	P	P/A	P	P								
Retail and Personal Services															
Beauty/Salon/Spa		P	P		P/A	P	P	P(24)	Z(13)		Z(13)		P(6)		6,13,24
General Personal Services		P/A	P		P/A	P	P	P(24)					P(6)		6,24
General Retail (small 25,000sf or less)		P/A	P		P/A	P	P	P(24)	Z(13)		Z(13)				13,24
General Retail (large 25,000-60,000sf)		P	P		P	Z(14)	Z(25)								14,25
Health/Fitness/Recreation Facility	P/A	P/A	P	P/A	P	P(15)	P(25)	P(15)	Z(13)		Z(13)				13,15,25
Large Format Retail (over 60,000sf)			Z(16)		P										16
Service/Gas Stations					Z(17,18)										17,18

Chapter 3 | Land Use Regulations, Development Standards and Guidelines



LEGEND P= Permitted Z = Zoning Administrator Permit C = Conditional Use Permit A = Ancillary to or in support of an approved primary use Blank-- Not Permitted	RTP	RTP/TO	RTP/CCO	RTP/RFO	HC	VCMU	HDR/CCO	HDR	VCMDR	MDR	VCLDR	LDR	VCOS	OS/GB	Foot notes
Eating and Drinking Establishments															
Bar/Night Club		C/A			C	C									
Micro-brewery/Wine Bar/Brewpub		P	P		P	P	P						P(6)		6
Restaurant/Café		P	P	P/A	P	P	P		Z(13)				P(6)		6,13
Restaurant w/ Drive-Thru					Z										
Food and Beverage Sales															
Convenience Market	P/A	P/A	P	P/A	P/A	P	P								
Farmer's Market / Produce Stands		Z/A(19)	P(19)	Z/A(19)		P/A(19)	P(19)						P(19)		19
General Grocery		P	P			P(20)	P								20
Visitor Accommodations															
Bed and Breakfast						Z		Z	Z						
Conference Center	Z	Z	Z	Z	P										
Homestay or Short Term Rental								Z(21)	Z(21)						21
Hotel	Z	Z	Z	Z	P	P(33)									33
Residential Uses															
Accessory Dwelling Unit							P(36)	P(36)	P(36)	P(36)	P(36)	P(36)			36
Single Family Detached									P	P	P	P			
Single Family Attached									P	P	P	P			
Duplex/Halfplex									P	P	P	P			
Townhouse/Row House						P(22)	P	P	P	P	P	P			22

LEGEND P= Permitted Z = Zoning Administrator Permit C = Conditional Use Permit A = Ancillary to or in support of an approved primary use Blank-- Not Permitted	RTP	RTP/ TO	RTP/ CCO	RTP/ RFO	HC	VCM U	HDR/ CCO	HDR	VCMDR	MDR	VCLDR	LDR	VCOS	OS/GB	Foot notes
Multi-Unit Dwelling (3 or more units)						P(22)	P	P	P	P	P(37)				22,37
Home Occupation,Live/Work							P(35)	P(35)	P(35)	P(35)	P(35)	P(35)			35
Family Day Care Homes Less than 14 Children									P	P	P	P			
Family Day Care Homes More than 14 Children									P	P	P	P			
Public, Education, Civic and Governmental Uses															
Religious Institution							C(23)	Z		Z		C			23
Commercial Daycare	P(26)	P(26)	P(26)	P(26)			P(26)	P(26)	Z	Z	Z	Z	P(6)		26,6
Education and Training Services / Vocational School	P	P	P	P		P(4)	Z(29)								4,29
College/University	P	P	P	P			P								
TK/K-12 Public/Private School										P(28)					28
Parks, Recreation, Open Space															
Public or Private Park/Open Space	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Water impoundment/detention	P	P	P	P	P									P	
Community Garden							P	P	P	P	P	P	P	P	
Temporary or Other Uses															
Mixed Use	P(27)	P(27)	P(27)	P(27)	P(27)	P(27)	P(27)								27
Mixed Use w/ Residential						P(27)	P(27)	P(27)	P(27)	P(27)	P(27)				27
Outdoor Materials or Vehicle Storage	P/A(30)	P/A(30, 31)		P/A(30)											30,31



LEGEND P= Permitted Z = Zoning Administrator Permit C = Conditional Use Permit A = Ancillary to or in support of an approved primary use Blank-- Not Permitted	RTP	RTP/ TO	RTP/ CCO	RTP/ RFO	HC	VCM U	HDR/ CCO	HDR	VCMDR	MDR	VCLDR	LDR	VCOS	OS/GB	Foot notes
Transportation/Passenger or Park-and-Ride Facility	Z/A	Z/A	Z/A	Z/A		Z/A									
Pop-Up Food/Retail Vendors (i.e. Food Truck/Mobile Retail)	P(32)	P(32)	P(32)	P(32)	P(32)	P(32)	P(32)						P(32)	P(32)	32
Special Events	P(32)	P(32)	P(32)	P(32)	P(32)	P(32)	P(32)						P(32)	P(32)	32

Table 3.1 Footnotes

1. Limited to 25% of the total net leasable building area
2. Limited to 15% of the total net leasable building area
3. Existing agricultural uses may continue until the area is required for the development of infrastructure or other allowed uses. Agricultural operations shall comply with applicable laws and regulations. Greenhouses and agricultural test plots are permitted indefinitely when associated with Research and Development.
4. If less than 10,000 square feet net leasable building area.
5. Subject to applicable Woodland Municipal Code Commercial Cannabis Business provisions
6. Up to 1.5 acres of retail/commercial uses permitted in the park consistent with master park design plan.
7. Outdoor storage/processing shall be located at least 75 feet from Road B, be screened and clearly in support of and incidental to a primary building and use of property.
8. Zoning Administrator Permit required if conducted wholly or partially outdoors
9. Outdoor manufacturing/assembly shall be located at least 75 feet from Road B and shall be screened from Road B.
10. Placeholder
11. Placeholder
12. If under 5,000sf and part of a mixed-use development project.
13. Adjacent to VCOS/The Yard only; 2,000 s.f. max.
14. Permitted as part of a comprehensive mixed-use project.

15. Maximum 5,000 s.f. In HDR, maximum of 5,000 s.f. and must be ancillary to a multifamily residential project.
16. Permitted as part of a master planned commercial center requiring a Zoning Administrator Permit.
17. A carwash is permitted as an ancillary use to and specifically a component of a permitted gas station. Standalone carwashes are not permitted.
18. A maximum of one service/gas station is permitted within the Highway Commercial Zone.
19. Subject to Woodland Municipal Code Section 5.12, Farmer's Market License.
20. Permitted if under 20,000 s.f. Zoning Administrator Permit required for larger format grocery store up to 50,000 s.f. max.
21. Allowed subject to implementation of citywide ordinance.
22. Residential unit(s) shall be located above ground floor non-residential uses as part of a mixed-use project.
23. Churches/Religious Institutions shall be located along Road D or Road C within the HDR/CCO zone, away from Road B.
24. Commercial/retail uses within the MDR and HDR zones are permitted as part of a mixed-use project along the perimeter of a subdivision/development project, limited to not more than 2,000 s.f. and shall be compatible with residential uses. Appropriate uses include the following or similar: general retail (small format), personal services (i.e. salon/spa, medical clinic), business related services (i.e. mail/copy center, tech retail), professional offices, tech firms, café/restaurant, convenience market. At the discretion of the Community Development Director, conditions that limit noise, odor or other potential impacts to adjoining residential uses may be required and/or the Director may elevate review/approval to a Zoning Administrator Permit or Conditional Use Permit.
25. Large format retail and health/fitness/recreation facilities up to 60,000sf are permitted within the HDR/CCO zone along Road B only.
26. Permitted (ancillary to) as part of a multifamily project or commercial development; not permitted as a standalone use on a parcel.
27. Mixed uses are permitted, consistent with the manner in which the individual uses are otherwise allowed in the zone. The review required will be dependent upon the most restricted use intended for the development.
28. A public school is permitted only within the MDR zone located south of Parkland Avenue, north of Road E, between Road B and the HLA greenbelt.
29. Trade or Professional Schools compatible with adjacent residential uses (i.e. produce low noise, odor, dust, vibration, etc.) are permitted within the HDR/CCO zone along Road B only, subject to a Zoning Administrator Permit.
30. All materials stored outside must be screened from public view.
31. Outdoor storage shall be at least 75 feet from Road B, be screened and be clearly in support of and incidental to a primary building and use of property.
32. Subject to Woodland Municipal Code Special Events provisions and Special Use Regulations, Section 3.3.3 as applicable.
33. Boutique hotel only.
34. Subject to Woodland Municipal Code Accessory Buildings and Uses provisions.
35. Subject to Woodland Municipal Code Home Occupation provisions.
36. Subject to Woodland Municipal Code Accessory Dwelling Unit provisions.
37. Not more than 4 units shall be permitted on a single parcel.



3.4 | SITE DEVELOPMENT STANDARDS

3.4.1 Format and Use of Development Standards and Design Standards and Design Guidelines

This document provides both **Site Development Standards and Design Standards and Design Guidelines (DS/DG)**. Together, the development standards and DS/DG contained in this chapter seek to promote coordinated, sound development, effective use of land, and high quality site planning that considers the unique character and context of the community. These development standards and DS/DG implement the goals and policies of the W RTPSP and the General Plan.

The **Site Development Standards**, Section 3.4.2, define the dimensional requirements that apply to structures built within each of the land use designations, including required lot sizes, lot coverage; setbacks; building and structure heights; and other requirements related to the building envelope, location, and configuration of buildings and structures which are unique to the Plan Area. The Design Standards and Design Guidelines, found in the following Section 3.5, address the desirable features of the land uses identified in the Specific Plan to achieve a desired level of quality for the physical environment.

3.4.2 Site Development Standards

The site development standards contained herein set the basic, quantitative requirements for development that support the goals and policies of the SP. The site development standards included herein are intended to establish the minimum design parameters. The intent of these standards is to permit flexibility to encourage a wide range of building types and innovative designs. It is anticipated that over the life of the Specific Plan, modifications to development standards and introduction of additional building types may be requested as part of specific site design, tentative map and design review process. Modification(s) to the standards as proposed by a developer/builder during site development and design review of individual Planning Areas and/or Tentative Maps, may be considered subject to the procedures outlined in Chapter 7, Section 7.4.1 via a Specific Plan Amendment or a Minor/Administrative Modification. The Site Development Standards are provided in Tables 3.2 for the Research Technology Park and Commercial Zones and Table 3.3 for Residential Zones.

Table 3.2: Site Development Standards for RTP, Commercial and Mixed Use Zones						
ZONING	RTP	RTP/TO	RTP/CCO	RTP/RFO	HC	VCMU
Site and Building Criteria						
Max Lot Coverage(1)	70%	70%	70%	70%	60%	100%
Floor Area Ratio(2)	0.20 min 2.0 max	0.20 min 2.0 max	0.20 min 2.0 max	no min 2.0 max	0.25 min 2.0 max	0.6 min 4.0 max
Max Building Length	650' (20)	400' (3)(20)	400' (3)(20)	650' (3)(20)	200'	50' (4)
Min/Max Lot Size	None	None	None	None	None	None
Streetwall Frontage Minimum(10)	None	Road B 60%(20)	Road B 60% (20)	None	None	Road B and Marston 70 %
Minimum Common Open Space(5)	5%	5%	5%	5%	5%	No fixed standard
Setbacks and Separations						
Front Setback(6)(7)	10' min no max (20)	5' min (8) 20' max along Road B(20)	10' min 25' max, 20' max along Road B(20)	10' min no max(20)	10' min no max	5' min 15' max (8)(9)
Side (interior) and Rear Setback	10' side and rear (11)(21)	10' side and rear (21)	10', 20' max from Road 25A	10' (11)(12)	10'	No fixed standard (13)
Building Separation	15' min (1-3 stories) 30' min (4+)	15' min (1- 3 stories) 30' min (4+ stories)	No fixed standard	15' min (1- 3 stories) 30' min (4+ stories)	No fixed standard	No fixed standard
Building Height⁽¹⁸⁾						
Min/Max Height (19)	No min 65' max	25' min 65' max	25' min 65' max	No min 65' max	No min 70' max	25' min 55' max
Vehicular and Bicycle Parking						
Vehicle Parking	Per Parking Use and Needs Statement (14)	Per Parking Use and Needs Statement (14)(16)	Per Parking Use and Needs Statement (14)(16)	Per Parking Use and Needs Statement (14)	Per Parking Use and Needs Statement (14)	Per Parking Use and Needs Statement (14)(17)
Bicycle Parking (15)	10% of vehicular spaces	10% of vehicular spaces	10% of vehicular spaces	10% of vehicular spaces	10% of vehicular spaces	10% of vehicular spaces

**Table 3.2 Footnotes for RTP and Commercial Zones:**

1. Lot coverage shall be determined by the total area of the footprint of all structures on a lot divided by the total gross lot area. Greater lot coverage may be permitted subject to compliance with minimum development standards, including, but not limited to parking, landscaping and storm drainage.
2. Floor Area Ratio (FAR) may be exceeded as determined by the City Council if a proposed project is within 500 feet of publicly accessible and usable open space and/or provides a community benefit not otherwise required by the City, such as additional publicly accessible open space; public art; landscaping that exceeds minimum City requirements; buildings of exceptional architectural quality; building massing and articulation that serves to reduce the visual impact of higher FAR beyond minimum requirements, and/or other community benefits.
3. Buildings over 300' in length shall demonstrate exceptional design and architectural detail where fronting Road B to actively engage the streetwall and pedestrian realm. Enhanced design elements shall include, but are not limited to well-articulated entryways, variation in massing, authentic architectural detailing and transparent glazing at the street level.
4. Maximum distance between building entrances; building breaks not required.
5. Usable open space may include a combination of shared paseos/pathways as well as courtyards/plazas or private greenspace. Calculations based on gross floor area of building(s).
6. Setbacks shall be measured from the edge of the ultimate right-of-way adjoining the lot, as identified by street sections in Chapter 4 of the Specific Plan.
7. Decorative landscaping or enhanced pedestrian walkways/gathering spaces shall be incorporated within front setback.
8. Upper floors over three stories should step back a minimum of 5 feet from the required minimum setback, if fronting Road B.
9. Within the VCMU, the maximum 15-foot front setback may be increased to allow for a well-designed outdoor dining/gathering space that includes vertical and horizontal elements which simulate a streetwall feel such as a pergola, landscaped trellis, umbrellas, and string lights.
10. Zone standard represents the minimum percentage of the parcel/property that shall be developed at the minimum setback line. Flexibility to increase the minimum setback may be granted to allow for well-designed outdoor space that includes vertical and horizontal elements and other circumstances where additional building setback is necessary.
11. Buildings adjacent to Hwy 113 shall maintain a 20-foot landscaped buffer between the building and the Cal Trans right-of-way.
12. A minimum 150-foot buffer is encouraged, where feasible, along the southern edge of the Plan Area, adjacent to agricultural lands along the urban limit line.
13. 10' minimum setback from residential uses on adjacent parcels (i.e. MDR zone)
14. On-site parking shall be determined by business owner/applicant based on information provided by owner/applicant in a parking use and needs statement. Maximums shall be based on the standards outlined in Section 3.5.3.F for RTP/HC, or 3.5.9.G.6 for VCMU.

Table 3.2 Footnotes for RTP and Commercial Zones (Continued):

15. The number of bike parking spaces provided shall be a minimum of 10 percent of the total number of vehicular spaces provided or credited to the project.
16. Not more than 30 percent of the Road B frontage shall be permitted for on-site vehicle parking, including aisles and backup area.
17. On-site parking shall not be permitted along Road B within the VCMU zone.
18. The building height measuring point (BHMP) shall be established at the existing grade at the mid-point of the building façade of the principal building that is closest to a street.
 - a) The height of a building with a flat roof shall be measured from the BHMP to the highest point of the roof excluding parapets and balustrades not exceeding 4 ft. in height.
 - b) The height of a building with a roof that is not a flat roof shall be measured from the BHMP to the average level between the highest eave, not including the eave of a dormer and the highest point of the roof; and where there are no eaves, the average level shall be measured between the top of the highest wall plate and the highest point of the roof.
19. Height limitations shall not apply to architectural features such as tower elements, cupolas, domes, or similar, or parapets that do not extend more than 10 percent above the height of the building as defined in footnote 18.
20. Exceptions to the Maximum Building Length, Streetwall Frontage and Front Setbacks in the RTP, RTP/TO, RTP/CCO zones may be granted for large RTP users of buildings 100,000 square feet or larger subject to approval of the Planning Commission and a finding of consistency with the Specific Plan goals and policies and with the Specific Plan EIR. Building and site design elements shall include, but are not limited to: well-articulated entryways, inclusion of expansive common open space that provide visual and physical linkages to the VCOS, variation in massing, authentic architectural detailing and transparent glazing at the street level.
21. Parcel and building configurations in the RTP/TO zone may incorporate portions of the RTP zone in order to accommodate larger buildings, provided that the buildings achieve the design objectives of both the RTP and the RTP/TO zone, particularly the street frontage, the relationship to the public realm and creating pedestrian linkages.



TABLE 3.3: SITE DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONES

ZONING	LDR-NORTH VILLAGE	LDR-EAST VILLAGE	VCLDR	MDR	VCMDR	HDR	HDR/CCO	FOOT NOTES
Site and Building Criteria								
Max Lot Coverage	50%	60%	60%	70%	70%	75%	75%	
Density(dwelling units /gross acre)	1.0-8.0	1.0-8.0	1.0-8.0	8.1 -19.9 (19)	8.1 -19.9 (19)	20.0-40.0 (20)	20.0-40.0 (20)	19, 20
Min. Lot Width	60'(9)	50'(9)	50'(9)	25'(9)	25'(9)	None	None	
Minimum Lot Size Interior/corner Detached lots	5000 int/ 6000 corner	4000 int/ 5000 corner	4000 int/ 5000 corner	None	None	None	None	
Minimum Lot Size interior/corner Duplex lots	6000 int/ 7000 corner	6000 int/ 7000 corner	6000 int/ 7000 corner	None	None	None	None	
Suggested Block Length/ Maximum	±400' to 600' / 800' max (4)	±400' to 600' / 800' max (4)	±400' to 600' / 800' max (4)	±400'/500' max (4)	±400'/500' max (4)	±400'max (5)	±400'/800' max (5)	4,5
Setbacks and Separations (1,2)								
Front Setback Min/Max (9)	20'/no max	15'/no max	10'/no max (6,8)	10' /20' (7)	5'/20' (6,7,8)	10'/30'	10'/30'	1,2,6,7,8,9
Min. Side Setback int/corner (9)	5'/15'	5'/15'	5'/15'	0'/10' (13)	0'/5' (13)	10'/10'	10'/10' (14)	1,2,9,13,14
Min. Rear Setback (9,10)	20' min (16)	15'	15'	5' (15)	5'(15)	0' (16)	10' (17)	1,2,9,10,15,16,17
Minimum Building Separation	n/a	n/a	n/a	10' for 1-2 stories 15' for 3+ stories	10' for 1-2 stories 15' for 3+ stories	10' for 1-2 stories 15' for 3+ stories	10' for 1-2 stories 15' for 3+ stories	
Building Height								
Min/Max (3)	0'/35'	0'/35'	0'/35'	0'/45'(11)	0'/45' (11)	2 story 25'/55'	2 story 25'/55'	3,11
Vehicular Parking								
Minimum spaces	2 garage spaces	2 garage spaces	2 garage spaces	1 garage space per 1 bedrm, 2 spaces /2+ bedroom	1 garage space per 1 bedrm, 2 spaces / 2+ bedroom	1 space /studio or 1 bedrm, 1.5 spaces /2 bedrm 2 spaces /3+ bedrm(18)	1 space /studio or 1 bedrm, 1.5 spaces /2 bedrm 2 spaces /3+ bedrm(18)	18
Bicycle Parking								
Minimum spaces	n/a	n/a	n/a	1/unit	1/unit	1/unit	1/unit	

Table 3.3 Residential Site Standards Footnotes:

1. Where applicable (i.e. adjacent to public right-of-way), setbacks shall be measured from the edge of the ultimate roadway right-of-way adjoining the lot, as identified by street sections in Chapter 4 of the Specific Plan.
2. Minimum setbacks shall be governed by the Uniform Building Code and Fire Code for use or occupancy and type of construction.
3. The maximum building height measurement is as noted in the table, except where modifications/exceptions are permitted in the City's Zoning Ordinance for such design features as chimneys, cupolas, flag poles or similar.
4. Where residential block sizes exceed 600 feet in length, a mid-block paseo shall be provided. See Section 3.5.12.A.18.
5. Max 300' between pedestrian access points/mid-block paseo
6. Residential units adjacent to The Yard shall front or appear to front on to the park (i.e. units may include double frontages or provide secondary access from a rear alley).
7. If fronting Marston, min. 15' front setback from back of path, including 2' clear recovery zone (see Chapter 4, Street Section F and C-1).
8. When adjacent to The Yard (VCOS), setback shall be 5' min/15' max as measured from the eastern edge of the Pedestrian Promenade.
9. For rear/alley load garages, courtyard/T style unit layouts or other non-traditional subdivision layout, setback and/or lot width deviations will be considered on a case by case basis based on a finding that adequate unit separation for light, air and ventilation and private open space is still maintained as determined by the Community Development Director. For non-traditional subdivision layout, alleys or shared space may be counted in setback calculations. Where projects are located adjacent to existing residential development, setback standards shall be maintained except as provided for in Chapter 7, Section 7.4.1.2, Minor/Administrative Modification.
10. Residential units shall not back on to greenbelts trails or pedestrian paths/paseos.
11. Maximum height may be increased for exceptional design quality. Massing and design shall consider pedestrian scale and proximity/adjacency to lower story residential units.
12. A minimum of 60 percent of the Road B frontage ground floor uses within the HDR/CCO zone shall consist of commercial/retail uses. Commercial use is required at the corner of CR25 and Road B. See Section 3.5.13.A.3. Exception provided for affordable housing project (see Section 3.5.13.A.3)
13. 5' minimum interior side setback if adjacent to LDR/VCLDR Zone.
14. 20' maximum side yard setback if adjacent to Road B or CR 25A.
15. 10' minimum rear yard setback if abutting LDR/VCLDR zone.
16. 10' minimum rear yard setback if abutting Road B; 30' minimum rear yard setback if abutting Hwy 113.
17. 20' minimum rear yard setback if abutting CR 25A.
18. HDR and HDR/CCO shall provide 1 guest space per every 5 units and 1 manager space.
19. Within the VCMDR and MDR Zones, units fronting The Yard or fronting Marston Drive shall



be developed at or above 15 du/ac, consistent with a townhome or row house product type.

20. See Chapter 6, Section 6.5.3, RDZ Density Requirements.

3.5 | DESIGN STANDARDS AND DESIGN GUIDELINES

3.5.1 Purpose

The design standards and guidelines contained in this chapter seek to encourage innovation in development, to provide a quality community that meets anticipated demands for housing, services and employment while allowing a variety of approaches to design that establishes a sense of place in a healthy, safe and sustainable manner. Together these Design Standards and Design Guidelines (DS/DG) address the desirable features of the land uses identified in the Specific Plan and to achieve a desired level of quality for the physical environment. Design Standards are a set of threshold requirements. Design Guidelines are a set of discretionary statements/recommendations.

The purpose of the DS/DG is to provide design recommendations and guidance for projects within the Plan Area, with the overarching goal to result in sustainable developments that are cohesive and well designed. The DS/DG inform development in ways that are environmentally conscious, economically sound and, when properly applied, achieve quality design, improve the community's safety, health and livability. The DS/DG emphasize projects that complement the character of the Plan Area and surrounding community, support pedestrian and bicycle friendliness and embrace a broad spectrum of sustainable practices.

3.5.2 Format of the DS/DG

Required Design Standards provided in this section are recognizable by the words "shall". Design Guidelines provide direction and vision for preferred outcomes and are recognizable by the words "should". The DS/DG are organized into three sections by District- Research and Technology Park, Village Center and The Villages. The General DS/DG for each District are provided first, then Special Character Guidelines follow for selected zones within the District. The content is as follows:

Part 1:

- General DS/DG for zones within the Research and Technology Park District (RTP, RTP/TO, RTP/CCO, RTP/RFO, HC)
- Special Character Guidelines for RTP, RTP/TO, RTP/CCO, RTP/RFO, HC

Part 2:

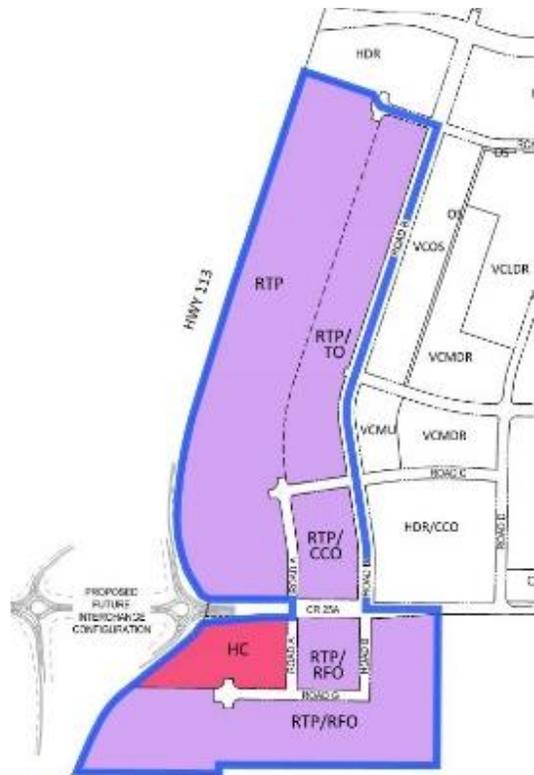
- DS/DG for zones within the Village Center District (VCMU, VCLDR, VCMDR, VCOS)

Part 3:

- General DS/DG for zones within The Villages District (LDR, MDR and HDR, HDR/CCO)
- Special Character Guidelines for HDR, HDR/CCO, MDR and LDR East Village and LDR North Village

PART 1: DESIGN STANDARDS AND DESIGN GUIDELINES FOR RESEARCH AND TECHNOLOGY PARK DISTRICT

The Research and Technology Park District encompasses the North and South Campuses. Section 3.5.3 addresses the general standards and guidelines which apply to all zones within the Research and Technology Park (RTP) District, as shown in the figure to the right. In addition, five (5) Special Character Guideline Sections are provided. Special Character Guidelines address the unique characteristics or features in all 5 zones within the District and are intended to complement and enhance the broader RTP DS/DG in Section 3.5.3. If conflicts arise between the General Guidelines and the Special Character Guidelines, the Special Character Guidelines shall take precedence.



3.5.3 General DS/DG for all Zones within the Research and Technology Park District

The following standards and guidelines apply to all development within the RTP, RTP/TO, RTP/CCO, RTP/RFO and HC zones.

A. Architecture and Massing

Architectural Style and Building Materials

1. Building design within the North and South Campus should incorporate and convey a clean, contemporary, ag-tech/ag-industrial architectural style that takes inspiration from the agricultural roots of Woodland.
2. Simple yet varied architectural design is preferred. Materials and colors should be well thought out to provide a unified and attractive exterior, but should generally be limited to one base material and not more than two accent materials to avoid an overdone or busy appearance.
3. High quality and durable materials such as solid wood, metal, glass, stone, concrete, and brick, shall be used on all buildings, with particular attention paid to finish types and



Buildings within the North and South Campus shall utilize high quality and durable materials and convey a clean, contemporary or ag-tech/ag-industrial style.



- surface textures that enhance visual interest and variety particularly at the pedestrian level.
4. Naturally finished metal, concrete (board-formed encouraged), and wood are appropriate as accent materials.
 5. The use of stucco siding is permitted but should be limited. Heavy knock-down or “lace” stucco finish is not appropriate.
 6. Matte finishes are preferred; highly reflective surfaces are generally not appropriate and should be used sparingly as accents only.
 7. A neutral, yet contemporary color scheme that incorporates limited, bold accent colors is encouraged.

Entryways



Building entrances should incorporate distinctive design elements as well as awnings and lighting for employee and visitor comfort and security.

8. Entryways should be harmonious in design with the overall building and have a defined relationship with fronting streets or pedestrian-oriented common areas where secondary access is provided.
9. Building entryways should be distinct, simple and clearly visible to pedestrians.
10. Primary entrances should be recessed with proper overhead covering and lighting as well as distinctive design elements, landscaping or art. Entryways should be properly sized to provide covering and shelter year-round.

Highway 113 Interface

11. Exterior building facades facing SR 113 shall be of the same or similar design quality as the primary building frontage including materials, massing and fenestration to the extent feasible. Long expanses of blank walls and unarticulated facades should be balanced in the overall scale of the building where visible from the public right-of-way.
12. Loading bays and parking areas along SR 113 must be substantially landscaped or screened from public view.

Limit Blank Walls

13. Building facades shall provide distinction and interest through the use of varied wall planes and materials, awnings, fenestration and other appropriately scaled architectural details that create a sense of depth on the wall surface.

Windows

14. For commercial and retail storefronts, windows should be a minimum of 9' feet in height and inset or recessed from the wall plane for visual interest and shadow line.
15. Highly reflective or opaque window glazing is generally not appropriate.
16. Proper glazing should enhance visibility and connection between indoor and outdoor spaces, particularly at the pedestrian/street level.



Proper window glazing should enhance visibility and connection between indoor and outdoor spaces, particularly at the street level.

Rooflines and Cornices

17. Rooflines should be considered in the overall building design and should provide an attractive termination of the building through the use of a decorative cornice or parapet, continuous banding or trim or other architectural features that help clearly define the building edge.
18. Shed and flat roofs are more typical of contemporary buildings, however a simple gable roof can also appear modern with appropriate pitch and use of materials. A mix of simple, projecting cornices and overhangs as well as rooflines that feature a clean edge profile are encouraged.
19. When applicable, decorative parapets should be extended around the sides of a building and contain necessary depth to appear as an integral part of the building design and form.
20. Articulation of the building facade and roof line should be considered when a flat roof is provided to help break up rectangular massing.

Light Fixtures

21. Building and on-site lighting shall reinforce and enhance the architectural style of the development project.
22. Where appropriate and complementary, up-lighting or rooftop lighting is encouraged to accentuate major architectural details, building form and/or landscape elements at night.
23. Lights shall be properly shielded to preserve a "dark sky."
24. Required illumination shall, at minimum, meet Uniform Security Code requirements as set forth in Title 15 of the Woodland Municipal Code.

B. Sustainable Design

Energy Conservation

1. A comprehensive approach to energy conservation should be employed in individual projects (new construction and/or expansion), in ongoing operations and use, as well as in collaboration with other campus-wide initiatives that may be developed, including the following strategies:



- Work spaces should be designed to support direct access to natural light for as many occupants as possible to reduce the demand and use of artificial lighting and improve worker comfort and efficiency.
- Use of street trees, shading devices, cool pavements in parking lots and cool roofs, to reduce heat gain and reduce the urban heat island effect.
- Use of high-performance building envelopes, including insulation of floors, walls, and ceilings that exceed Title 24 standards, use of low-e glass and other high-performance curtain wall or glazing systems.
- Employment of heat recovery ventilation within residential or non-residential buildings, which rather than venting warm exhaust air outside, captures the exhaust air and uses it to preheat incoming air.
- Use of heat reducing/high albedo paint or similar solar reflective paints/products on roofs and siding where appropriate.
- Use of energy-efficient appliances and lighting that meet, at minimum CalGreen Code Tier 1 standards.



Natural and energy efficient lighting should be incorporated where feasible to improve building efficiency and employee comfort.

Sustainable Materials and Construction Practices

2. Sustainable, local and renewable building materials should be used and verified whenever feasible.
3. Projects shall strive to reduce or eliminate waste during design, construction, operation and end of life in order to conserve natural resources.
4. The use of low-carbon cement is encouraged whenever feasible and/or the use of alternative materials.
5. Consider prefabricated building/structural components when feasible.
6. Leftover material stock should be recycled, donated or returned for alternative use at the completion of construction.

Electrification

7. All new buildings shall be all-electric ready, including providing for sufficient capacity in the installed utility service, dedicated wiring, reserved electrical breaker space, and a space large enough for future electric appliances or equipment. When feasible, all new buildings shall be all-electric. Exceptions are anticipated for lab related natural gas requirements and/or commercial kitchens. All new development shall meet California Green Building Code requirements.

Water Conservation/Quality



Low impact development techniques including bioswales allow for the collection and filtration of stormwater runoff.

The following guidelines are recommended to minimize water use and/or improve water quality:

8. Use high-performance water fixtures that reduce water consumption and reduce demand on the water supply and the amount of waste-water entering the waste-water system.

9. Design streets, parking lots, and building surfaces to collect stormwater run-off using low impact development techniques, such as bioswales or other biofiltration systems.

10. Capture rainwater in cistern or other devices to supply water for landscape irrigation during dry months or channel rainwater from building rooftop drains to landscaping in common areas.

Low-Water Landscape

11. Landscaping should consist of climate-appropriate plantings, including drought-tolerant and native species suited to Woodland.
12. Use of permeable and porous pavement in parking areas to treat and attenuate stormwater flows should be used, where feasible, to reduce stormwater run-off. Trees and plants conducive to absorbing stormwater particulates, are encouraged within these planting areas.
13. Landscaping should consist primarily of mulch, flower planting beds, and naturalized groundcovers, including native grasses and shrubs. Non-living groundcovers, such as bark, cobbles, and stones are also encouraged to supplement the primary groundcover and, thereby, reduce maintenance and irrigation demand.
14. Install climate sensitive irrigation systems and other water-efficient bubblers and drip irrigation systems.
15. Coordinate with the City on use and treatment of recycled water for the irrigation of common area landscaping and public parks.
16. Petrochemical fertilizers or pesticides are discouraged in the routine operation and maintenance of plan area landscaping.

C. Landscaping

Refer to Section 3.5.3.F, Driveways, Parking and Services Aisles for parking lot landscape/shade requirements. Private and public landscaping shall be consistent with the master landscape palette for the Research and Technology Park District.



Native Landscaping

1. A variety of shrubs and groundcover species should be used along the base of buildings to soften and anchor the foundation and along pathways to define edges and transitions.
2. Native plant species should be used whenever possible, including native grasses and shrubs.
3. Pollinator friendly planting and maintenance practices shall be integrated into each site's landscaping.
4. Lawns and highly ornamental landscaping that require frequent pruning and maintenance should be used sparingly to accentuate important public nodes, plazas, gathering areas and where desirable for recreation.



Landscaping shall be provided in setback areas adjacent to the public right of way to soften the transition between the sidewalk and built environment.

Yard Setbacks

5. Setbacks areas, including easements for utilities where feasible, shall incorporate landscaping except where screened from the public right-of-way and public or private open space.
6. Vegetative matter shall be designed to cover 75 percent of required landscaped areas. Exceptions may be granted on a case by case basis.

Trees

7. Tree planter dimensions shall be no less than 6' x 6', and should correlate with the ultimate size of the tree species.
8. Soil analysis shall be performed after site grading and paving is complete and any amendments incorporated per recommendation of a licensed landscape architect.
9. Where appropriate and feasible, Valley Oak trees (*Quercus lobata*) shall be incorporated into open space areas, reflective of the City's historic natural landscape.



Where appropriate landscape design should incorporate Valley Oak trees and/or other native trees reflective of Woodland's historic and natural landscape.

Container Size

10. Trees shall be a minimum of 15-gallon size and shrubs a minimum of 5-gallon size at the time of planting.

D. Screening, Walls and Fencing

Outdoor Storage

Outdoor storage of materials shall be attractively screened from public view.



1. Outdoor storage of goods and materials shall generally be screened from public view by way of landscaping, berms, decorative fencing and/or masonry walls, which are architecturally compatible and complementary to the overall project.
2. Where applicable, screen planting shall be designed to achieve a 75 percent summer opacity and 60 percent winter opacity within 3 years of planting.

Mechanical Equipment

3. All utility and mechanical equipment and service areas shall be located generally away from or adequately screened from public view.
4. Backflow prevention devices shall not be located within the public right of way or along primary pedestrian streets. All domestic, fire, and landscape backflow prevention devices shall be screened with landscaping or low fences/walls.

Limited Use of Walls and Fencing

5. Walls and fencing should be limited to specific screening and/or security purposes and should generally not be used for separation of uses/parcels within the North and South Campus.
6. Low decorative walls or fencing may be used in limited capacity to delineate shared or private open space and outdoor dining/patio areas; but should not exceed 36 inches in height within the front setback area or adjacent to public right-of-way.
7. Fencing located outside of the front setback for screening and/or security purposes shall not exceed eight feet in height. All fences over six feet in height require a building permit.

Design

8. Long expanses of fencing or walls visible to the public shall incorporate enhanced detailing, decorative pilasters and/or the height and wall plane shall be varied to minimize a long and monotonous appearance.
9. Where feasible, fencing and walls should be combined with landscaping to soften the overall appearance and discourage graffiti.
10. All wood fences shall be treated with a semi-transparent, pigmented stain and sealant.
11. Standard chain link fencing as well as barbed/concertina wire or similar boundary security materials are not appropriate.



E. Trash and Recycling

Enclosures

1. Trash and recycling enclosures shall consist of the same or similar design and materials as the overall project and shall adhere to City trash and recycle enclosure specifications.
2. Enclosures shall be located to the side or rear of the building, generally away from public view and separated from adjacent parking stalls by a minimum 3-foot-wide planter.
3. Trellis structures and vines are encouraged as a means of screening the sides and rear of trash enclosures.
4. The area around trash enclosures shall be kept free of trash and debris.

F. Driveways

Driveway Location

1. Driveway placement should avoid disrupting the streetwall and pedestrian environment and shall be located behind or to the side of buildings whenever possible.
2. Lots with frontage on arterial streets, including along CR 25A, shall locate driveway access on internal side streets. If the only frontage is on a major access street, consolidated access at a single driveway should be provided, if feasible.

Driveway Spacing

3. The minimum spacing or separation requirements for driveways on local or collector streets shall be as follows, unless otherwise approved by the City's Traffic Engineer:
Local Streets: 100 feet between driveways; 150 feet from an intersection.
Collector Streets: 150 feet between driveways; 200 feet from an intersection.
4. Where driveway location standards can't be met for a parcel, the City may require access to that parcel achieved via cross-access over an adjacent parcel.

Driveway Consolidation

5. The consolidation of driveways within adjacent parcels shall occur whenever possible.

Driveway Design

6. Driveways shall be a minimum width of 25 feet and a maximum width of 40 feet at the back of the sidewalk.
7. Driveway width and placement shall accommodate truck turning movement and clearing without blocking roadways.
8. Access driveways shall provide adequate length to accommodate off-street vehicle stacking needs during times of peak use.
9. Driveways should incorporate material changes to alert pedestrians of potential conflict.

G. Vehicle and Bicycle Parking

Off-street Parking

1. Off-street parking shall be determined by the business owner/applicant based on information provided by owner/applicant in a parking use and needs statement, subject to approval by the Community Development Department.



Parking lots shall consist of landscaping, tree canopy and clearly defined pedestrian walkways to adjoining buildings.

2. The maximum number of off-street parking spaces shall not exceed the following amounts, unless otherwise approved by the Community Development Director:
Hotel: 1 spaces per room, plus 1 space for the manager
Commercial, Business Support Retail: 1 space per 300 gross square feet
Office, Flex, Research and Development: 1 space per 300 gross square feet
Light Industrial: 1 space per 500 gross square feet
Manufacturing, Storage, Warehouse: 1 space per 2,000 gross square feet
Restaurants, cafes, micro-brewery: 1 space per 4 seats

Electric Vehicle Charging

3. All commercial parking lots and/or structures shall provide electric vehicle charging pursuant to the California Green Building Standards Code, Tier 1 requirements.

Parking Lot Landscaping and Shading

4. Proper tree variety and placement shall be designed to result in 50 percent parking lot shading within 15 years of installation. Primary entrance roads and driveways not used as back-up areas are exempt from this requirement.
5. Solar and shade covers are permissible, but should not significantly reduce the number of trees otherwise required to provide 50 percent lot shading.
6. Surface parking lots visible from the public right-of-way shall incorporate landscape screening, trellising, low walls/fences at least 36 inches in height to continue a "green wall" and minimize interruption to the streetwall.
7. At least 6 feet of landscaping should separate surface parking from any adjacent sidewalk or public right-of-way.
8. Shaded sidewalks or other pedestrian walkways shall be clearly delineated by way of landscaping and enhanced paving or design and should connect parking areas directly to building entries.

On Street Parking

9. On-street parking spaces adjacent to the property street frontage may be considered and counted when determining parking needs.



Shared or District Parking Facilities

10. Multiple buildings within the same cluster or block should be designed to share parking and off-street loading facilities and service areas, to the extent possible.
11. Future parking needs may be phased by allocating space for such needs, but allow for other uses until the parking use is required. Landscaped areas that can be converted to expanded parking or building coverage are preferred in lieu of constructing oversized parking lots.

Reduced Parking Demand

12. Projects shall demonstrate that parking reduction strategies have been incorporated to reduce on-site parking demand through Transportation Demand Management strategies such as but not limited to the following:
 Parking cash-out for employees; Subsidized transit passes or car sharing programs; dedicated parking spaces near building entrances for rideshare and carpools; guaranteed ride home program; alternative work week and flex-time schedules; telecommuting or work-at-home programs; dedicated employee housing; compliance with City VMT/TDM ordinance, as available; participation in City VMT fee program, as available.

Bike Parking Facilities

13. Bicycle racks shall be placed near building entrances, in safe, well-lit locations, and permanently anchored to a hard, dust free surface, preferably asphalt or concrete slab, and installed in a manner which allows adequate space for access to the bicycle and locking device.
14. Covered and secured bike parking shall be incorporated into each project for use by employees and visitors. The use of bike lockers is encouraged where feasible.
15. Facilities such as locker rooms, showers (2 minimum) or similar facilities are required in all general industrial, office and research technology buildings over 50,000 s.f. and encouraged in all other commercial developments.
16. The number of bike parking spaces provided shall be a minimum of 10 percent of the total number of vehicular spaces provided or credited to the project (e.g. 200 vehicle parking spaces provided multiplied by 10 percent = 20 bike parking spaces required).



Bike lockers are encouraged throughout the North and South Campus for use by employees and visitors. Lockers should be located in lighted and highly visible locations.

H. Loading

Service Aisles and Loading Space

1. Loading and service aisles shall be constructed of durable materials and designed to support safe and efficient access for delivery or service trucks.

2. Where loading and service aisles may function as secondary or informal access ways, consideration should be given to design as well as function.
3. Where necessary, screening may be required to reduce noise and visual impacts associated with service aisles.
4. Uses with operations requiring a heavy volume of truck traffic shall have separate truck parking areas that are clearly delineated.
5. Designated pull-out or drop-off locations should be provided such that driveway or access to parking is not impeded.

Loading Area Design Standards

6. Loading bays shall be adequately sized and spaced to provide adequate space for vehicles, whether rear loading or side loading at any loading dock, door, or area, without encroaching into required parking spaces or driveways.
7. Loading bays shall not be less than 10 feet in width, 25 feet in length, and 14 feet in height. For semi-trucks, there shall be at least 85 feet from the edge of the loading dock to the far edge of the maneuvering area. Extended trailers and larger docks may require up to 130 feet.
8. One truck loading and unloading space for buildings with a gross floor area of 7,500 square feet or greater should be provided, plus one additional space for each additional 20,000 square feet or fraction thereof unless otherwise approved by the Community Development Department.
9. Flex office and office condominiums having need for only occasional shipping or receiving of goods may use a portion of the driveway or parking area for temporary loading and unloading.

I. Signage and Wayfinding

Setback, Height and Area Requirements

1. Design Review approval is required for all new signage. Sign setback, height and area requirements are subject to Table 3.4.

Zone	Max Sign Height		Min Setback from Property Line	Total Sign Area Per Business	Max Total Sign Area Per Business
	Wall Mounted	Ground Mounted	Ground Mounted	All Permanent Signs	All Permanent Signs
RTP, RTP/RFO	40ft	12ft	10ft	The length of building frontage x 2	300 s.f.
RTP/TO, VCMU	30ft	8ft	3ft	The length of building frontage x 2	175 s.f.



RTP/CCO, HDR/CCO	20ft	12ft	5ft	The length of building frontage x1.5	175 s.f.
HC	30ft, shall not exceed height of hotel	12ft	10ft	The length of building frontage multiplied by 2	200 s.f.
VCOS, OS/GB	Commercial uses permitted with the VCOS (The Yard) shall be subject to the standards and guidelines applicable to the VCMU zone; otherwise signage within the VCOS, OS and GB zones shall be consistent with Park and Greenbelt Master Plan.				



Pedestrian oriented blade signs are encouraged in the Community Commercial Overlay Zones.

Location

2. Signs should be considered during building design and properly scaled and located so as not to dominate or interfere with architectural detailing and overall building façade.
3. In general, signage should not be placed more than 20 feet above the sidewalk or be located above the building streetwall height if upper stories are stepped back.
4. Multi-tenant signage should be coordinated and cohesive in appearance including consistent sizing and lighting requirements.
5. Customized projecting, blade signs or under canopy signs are encouraged within the Community Commercial Zone or where commercial uses are incorporated within mixed use projects. Blades signs must provide at least 8 feet of vertical clearance as measured from the sidewalk to the base of the sign.
6. Signs and structural features shall be subject to cross visibility requirements as outlined in the Woodland Municipal Code and subject to review and approval by the City Traffic Engineer.

Text

5. Signs may only contain the name and logo or symbol of the business and its street address. Trade slogans are not permitted.
6. Logos shall not exceed 4 square feet in size except if it is determined by City Planning staff that building scale or other factors, such as enhanced design and quality, warrant increased logo square footage.

Materials and Design

7. Signs shall be constructed using durable, fade and weather resistant materials such as stone, tile, cast concrete, or other similarly durable masonry, metal or wood materials that complement the architectural design and style of the building.
8. Unique and creative sign design is encouraged to enhance the unique identity of the Plan area.
9. Faded or damaged signs shall be replaced or repaired in a timely manner.
10. Cabinet or box signs, roof mounted signs, window signs above the second floor and pole mounted signs are not permitted.
11. Feather signs, flags, banners and other attention getting signs or devices are prohibited except during grand openings, in which case they must be removed within 30 days.



Unique and creative exterior signage is encouraged within the North and South Campus.

Illumination

12. Signs shall be spot illuminated from the front or consist of letters, numbers, or graphics that are halo backlit. Internally illuminated pan channels letters are not appropriate except within the Community Commercial and Highway Commercial zones. Neon is permitted when integrated into custom designs.
13. Flashing, traveling, animated, or intermittent illumination is prohibited.
14. Exposed conduit, tubing and raceways are prohibited. Transformers and other equipment shall be fully screened/concealed.

Monument Signs

15. Where not governed by a comprehensive sign plan, one monument sign shall be allowed for each street frontage of a lot.
16. Monument signs shall include a decorative or enhanced base and shall be up-lit except for cut-out letters or numbers which may be internally illuminated.

Comprehensive Sign Plan

17. A Comprehensive Sign Plan is encouraged for multi-tenant buildings and for North and South Campus blocks where multiple buildings create a campus like setting.
18. A Comprehensive Sign Plan should consider the need for wayfinding where multiple buildings surround a central common area or where uses may result in multi-location trips for Technology Park visitors.
19. A Comprehensive Sign Plan may be approved by the Community Development Department and should include guidelines pertaining to overall size and square footage



of individual tenant and building signs, lettering heights, materials, illumination, monument placement, size and design, and ancillary pedestrian directional or informational signage such as building entrance directories and other wayfinding methods.

Highway 113 Oriented Signage

20. Businesses with building frontage along HWY 113 shall be permitted additional sign area (up to 1.5 times the building's linear freeway frontage) for on-building signage that faces the freeway.
21. Standalone/freestanding monument signs are generally not permitted along SR 113 unless part of a Comprehensive Sign Plan where multiple businesses are represented and where the monument sign(s) are of exceptional design and quality, with material finishes that represent the unique character of the Plan Area. Additional height up to 50 feet may be permitted through Comprehensive Sign Plan review and approval.

J. Public Art

Obligation

1. Public art shall be incorporated within new development projects, including private projects, consistent with the Woodland Municipal Code (WMC), Public Art Ordinance (WMC Section 17.104.200).

Installation

2. The placement and installation of Public Art is encouraged within shared open space areas such as outdoor patios, plazas and courtyards and within view of a large number of people such as along sidewalks, at intersections, within roundabouts, medians or The Yard, and at primary Plan area gateway locations along CR 25A and Road B.

Artwork

3. Public Art should be unique and of high quality design and execution; however, it is encouraged that artwork located within the public realm be of a unified theme reflective of the Research and Technology Park's focus on agricultural and technological innovation.

3.5.4 Special Character Guidelines- Research Technology Park (RTP) Zone

A unique focus of the RTP Zone is the campus-like setting; a place of collaboration and idea exchange within an inspired and forward thinking environment. The following Special Character Guidelines are intended to assist in achieving that vision.

A. Site Design



Courtyards and outdoor seating areas shall be incorporated as a component of site design to help create a campus-like setting in the RTP Zone.

Block Pattern

1. Block lengths will depend on parcelization, however overall site planning shall consider broader connectivity that promotes pedestrian/bike activity by way of paseos, paths and connecting walkways.

Campus-Like Setting

2. Campus building placement/configuration should be promoted whenever possible, creating opportunities for interior courtyards, plazas, seating areas, and other public or semi-public open spaces.

3. Highly visible and well designed secondary building entrances located internally to the site should face onto common open space areas.
4. Paseos and other internal and external walkways shall connect employees and visitors to key pedestrian pathways by and between buildings, through to public right-of-ways, greenbelts and/or the broader bike/pedestrian trail network.

Pedestrian Corridors and Connection

5. Internal pedestrian walkways or multi-use paths shall be incorporated within the North Campus where appropriate. Landscaping shall be provided along a majority of the paths on one or both sides of the walkway. Shaded resting/seating areas shall be appropriately located in visible and lighted locations.
6. Designated pedestrian paseos should be identified to link the North Campus areas from north to south and to Road B, allowing employees and visitors the ability to connect with various businesses/buildings.
7. Pedestrian scale light poles of not more than 16 feet in height or lower level bollard style lighting, or a combination of both, shall be provided at all outdoor walkways, parking, loading and service areas, ramps/stairs, and building entrances.
8. A minimum of 1-foot candle of lighting shall be provided; "hot spots" of 10 foot candles or greater shall not be permitted.



Walkways shall be illuminated with pedestrian scale lighting such as low level bollard lighting.

Common Open Space

9. New development shall provide common, usable open space which may include a combination of shared paseos/pathways as well as courtyards/patios or private greenspace. Amount of common and usable open spaces shall be equivalent to at least



5% of the gross floor area of the building.

10. Common open space should be designed as a component of new development in a manner that can be shared among multiple tenants or employees.
11. Private open space, designed for the exclusive use of building occupants and employees should also be considered and may be separated from publicly accessible spaces as balconies, terraces, or patios by elevation, landscaping, or other means.
12. Shared open space, framed by active building facades, should generally orient toward the public right-of-way or internal pedestrian paseos/pathways. Building windows, balconies or entrances should face the open space for added security and visibility.
13. The use of textured or enhanced paving, incorporation of decorative landscaping and shade elements, and movable tables and chairs that provide an adaptable, attractive and inviting environment are encouraged within shared courtyards, patios and private greenspace.

Adjoining Parcels

14. Where possible, setbacks between adjoining parcels should be treated as a unified public area, designed and landscaped to contribute to the broader open space and pedestrian circulation framework.

B. Architecture and Massing

Ground Floor Articulation and Activity

1. The ground floor of all buildings, particularly those façades facing the public right-of-way, should support activity on the street and bring the life of the building into the public realm through the use of frequent and well defined building entryways, façade transparency at the street level, and through architectural detailing such as awnings, canopies, recesses, and enhanced materials and surface changes that provide an interesting and pleasant employee/public experience.
2. Active uses should be located on the ground floor along the building frontage, visible to the public realm/public right-of-way and may include, but are not limited to community rooms and kitchens, employee support areas, recreational facilities, exhibition space, and lobbies.
3. Articulated wall planes at the ground floor along the public right-of-way or where substantially visible to the public should be offset by at least 2 to 4 feet and may be combined with color or material changes to provide substantial shadow lines and visual interest and allow for enhanced landscaping along the base of the building.

Active Corners

4. Buildings located at corners, intersections or roundabouts should reinforce the streetwall through unique architectural design elements or enhanced façade treatment, fenestration, variation in wall plane, tower elements and interesting signage.
5. Corner buildings should be minimally recessed if at all from the property line/public right-of-way except to allow for enhanced landscaping.

3.5.5 Special Character Guidelines- Research Technology Park/Transitional Overlay Zone (RTP/TO)

The following guidelines provide additional recommendations and standards that ensure the RTP/TO zone will provide an appropriate level of intensity transition between the RTP Zone and the Village Center District to the east. Particular emphasis is placed on the interface between the RTP and the public realm along Road B to ensure building types and uses in the RTP/TO actively contribute to a pleasant, walkable, pedestrian environment. Standards and guidelines in this section shall supersede and take precedence over those in Section 3.5.3, General DS/DG.

A. Site Design

Well Defined Streetwall

1. Building placement along Road B should provide clearly defined edges to the public realm and activate the street.
2. For parcels with frontage along Road B within the RTP/TO, seventy percent (70%) of the property shall be developed at the minimum setback line (development may be phased over time). Flexibility to increase the minimum setback may be granted to allow for well-designed outdoor space that includes vertical and horizontal elements and other circumstances where additional building setback is necessary.
3. Buildings over three stories should stepback or provide a varied wall plane on street facing upper floors (above the third floor) to maintain a human scale streetwall.

Green Wall

4. Landscaping, including hardscape elements, decorative planters, and trellis structures with vines, should serve as a continuation and enhancement of the streetwall, contributing to an attractive public realm which extends and complements the architectural style of the built environment.

Pedestrian Experience

5. Primary building entrances should face on to Road B.
6. Façade treatments, when adjacent to Road B and to common open space areas should support a comfortable pedestrian experience by incorporating architectural features that provide shade, such as canopies, awnings, overhangs, projections, as well as visual interest through the use of articulated bays, material / surface change and textures and distinct entryway details.
7. Canopies and awnings should provide a minimum 8-foot clearance above finished grade and may extend over the public right-of-way.

B. Driveways, Parking and Service Aisles

Driveway Location

1. Driveway placement shall avoid disrupting the streetwall and pedestrian environment and shall be located behind or to the side of buildings whenever possible.



2. Not more than one full-access entrance/drive into the RTP/TO zone shall be permitted along Road B between Marston and Road E (see also Circulation Chapter).
3. It is encouraged that the number of limited access driveways (right-in/right-out) along Road B, along the park (The Yard) frontage be limited to avoid disrupting the streetwall and pedestrian environment.
4. Shared access shall be pursued between adjoining parcels/uses.

Parking Lots

5. On-site parking shall be located behind buildings and away from Road B. Not more than 20 percent of a parcel's frontage on Road B may be used for parking, including aisles and backup areas.

3.5.6 Special Character Guidelines-Research Technology Campus/Community Commercial (RTP/CCO) Zone

The following Special Character guidelines address particular aspects of commercial use and building design within the RTP/CCO zone, located at the intersection of CR 25A and Road B, serving as a "gateway" to the Plan Area. The RTP/CCO guidelines have a specific focus on the prominent gateway location and enhancement of the identity of the Plan Area. The RTP/CCO Zone allows both commercial and residential uses within a desirable horizontal or vertical mixed-use development project. Standards and guidelines in this section shall supersede and take precedence over those in Section 3.5.3, General DS/DG.

A. Site Design

Well Defined Streetwall

1. Building placement along Road B should provide clearly defined edges to the public realm and activate the street.
2. For parcels with frontage along Road B within the RTP/CCO Zone, sixty percent (60%) of the property shall be developed at the minimum setback line (development may be phased over time). Flexibility to increase the minimum setback may be granted to allow for well-designed outdoor space that includes vertical and horizontal elements and other circumstances where additional building setback is necessary.
3. "Drive-thru" uses shall not be permitted along Road B or CR 25A. Exceptions may be granted for small scale drive-thru facilities such as a coffee kiosk as an ancillary use within a larger commercial center. Such uses should be located internal to the site, away from Road B.
4. The number of limited access (right-in/right-out) driveways shall be restricted from Road B between CR 25A and Road C to minimize disruption to the pedestrian environment.
5. On-site parking shall not be permitted along the Road B frontage.

B. Architecture and Massing

Gateway (Primary)

1. Buildings located at or the near the corner of CR 25A and Road B shall be designed in a

manner which provides a sense of arrival and should reflect the distinctive character of the Plan area as an agricultural and technological center for innovation.

2. Enhanced landscaping shall be provided along CR 25A between Highway 113 and Road B with an emphasis at the intersection of CR 25A and Road B to accentuate this location as the primary Plan Area entryway.

Road B Frontage

3. Buildings with frontage along Road B shall be designed in a manner so as to not “back-on” to Road B. Windows, entryways, patios and other design features shall be located along the Road B frontage to give the appearance of a primary building frontage and/or shall activate the streetwall.
4. Utility doors and other back-of-house items shall be avoided along Road B and CR 25A.

Ground Floor Articulation and Activity

5. The ground floor of all buildings, particularly those façades facing the public right-of-way, should support activity on the street and bring the life of the building into the public realm through the use of frequent and well defined building entryways, façade transparency at the street level, and through architectural detailing such as awnings, canopies, recesses, and enhanced materials and surface changes that provide an interesting and pleasant public experience.
6. Active uses should be located on the ground floor along the building frontage, visible to the public realm/public right-of-way and may include, but are not limited to retail storefronts, cafes/restaurants, community rooms and kitchens, employee support areas, recreational facilities, exhibition space, and lobbies.
7. Articulated wall planes at the ground floor along the public right-of-way or where substantially visible to the public should be offset by at least 2 to 4 feet and may be combined with color or material changes to provide substantial shadow lines and visual interest and allow for enhanced landscaping along the base of the building.

Active Corners

8. Buildings located at corners, intersections or roundabouts should reinforce the streetwall through unique architectural design elements or enhanced façade treatment, fenestration, variation in wall plane, tower elements, outdoor seating/patios and interesting signage.

C. Driveways, Parking and Service Aisles

Driveway Location

1. Driveway placement shall avoid disrupting the streetwall and pedestrian environment and shall be located behind or to the side of buildings whenever possible.

Parking Lots

2. On-site parking shall be located behind buildings and away from CR 25A and Road B.



3.5.7 Special Character Guidelines-Research Technology Park/Research Flex Overlay (RTP/RFO) Zone

The RTP/RFO zone, located in the South Campus, will serve as an extension of the North Campus, while providing opportunities for research and light manufacturing uses, particularly ag tech related, with immediate and convenient access to prime agricultural land for field research and testing. Development guidelines within this zone provide added flexibility for specialized building types such as greenhouses or other research and testing facilities. Standards and guidelines in this section shall supersede and take precedence over those in Section 3.5.3, General DS/DG.

A. Site Design

Block Pattern

1. Block lengths should be no greater than 600 feet. If longer block lengths are required, mid-block paseos or pedestrian paths, connecting walkways, bicycle facilities, and parks or open space should be provided.

Future Use Expansion

2. Consideration should be given to lot sizes that will allow for future expansion, such as for greenhouse or expanded research facilities.

Campus Setting

3. Where higher employment uses are proposed, a campus style environment should be promoted, creating opportunities for interior courtyards, plazas, seating areas, and other public or semi-public open spaces.
4. Highly visible and well designed, secondary building entrances located internally to the site should face onto common open space areas and parking lots.
5. Paseos and other internal and external walkways shall connect employees and visitors to key pedestrian pathways by and between buildings, through to public right-of-ways, greenbelts and/or the broader bike/pedestrian trail network.
6. Pedestrian scale light poles of not more than 16 feet in height or lower level bollard style lighting, or a combination of both, shall be provided at all outdoor walkways, parking, loading and service areas, ramps/stairs, and building entrances.
7. A minimum of 1-foot candle of lighting shall be provided; "hot spots" of 10 foot candles or greater shall not be permitted.

Common Open Space

8. New development shall provide common, usable open space which may include a combination of shared paseos/pathways as well as courtyards/patios or private greenspace. Amount of common and usable open spaces shall be equivalent to at least 5 percent of the gross floor area of the building.
9. The use of textured or enhanced paving, incorporation of decorative landscaping and shade elements, and movable tables and chairs that provide an adaptable, attractive and inviting environment are encouraged within shared courtyards, patios and private greenspace.



Required open space may be developed as a courtyard or patio and should include landscaping, lighting and outdoor furniture for the enjoyment of employees and visitors.

B. Architecture and Massing

Unique Building Types

1. Unique or nontraditional building types such as greenhouses are permitted within the RTP/RFO Zone but shall be designed with high quality materials and in a manner that does not detract from the overall aesthetic quality of the Plan Area.
2. Where appropriate, landscaping or screening may be required to soften the appearance of a non-traditional building types.

Gateway (Secondary)

3. Buildings located at or the near the corner of CR 25A and Road B shall be designed in a manner which provides a sense of arrival and should reflect the distinctive character of the Plan area as an agricultural and technological center for innovation.
4. Enhanced landscaping shall be provided along CR 25A between Highway 113 and Road B with an emphasis at the intersection of CR 25A and Road B to accentuate this location as a critical gateway to the Plan Area's South Campus.

C. Ag Interface

1. A minimum 150-foot buffer is encouraged, where feasible, along the southern edge of the Plan Area, adjacent to agricultural lands along the urban limit line.
2. Uses within the buffer may include parking, streets, bike / pedestrian multi-use trails, shipping/receiving yards, stormwater management uses/facilities, or uses. Additionally, uses consistent and compatible with agricultural uses, agricultural field research or similar (i.e. greenhouses, field research offices, community gardens or agricultural uses/structures) are permitted within the ag buffer.



3.5.8 Special Character Guidelines-Highway Commercial Zone (HC)

The following special character guidelines are intended to promote an attractive Plan Area gateway that reflects the character of the Research and Technology Campus, while serving both visitors to the Plan Area as well as the traveling public in a convenient and efficient manner. Standards and guidelines in this section shall supersede and take precedence over those in Section 3.5.3, General DS/DG.

A. Site Design

Pedestrian Connection

1. Site design shall consider pedestrian connectivity to adjacent and nearby commercial uses, businesses, bike/pedestrian paths, and mobility hub(s). Pedestrian walkways should be clearly delineated by overhead trellising, shade trees, enhanced paving, landscaped edges or other identifying characteristics. Pedestrian walkways shall be well lit and visible.

B. Architecture and Massing

Architectural Style and Scale

1. Development within the Highway Commercial Zone shall reflect the “ag-tech” character of the Plan Area.
2. Contemporary design styles are encouraged.
3. Hotel(s) shall provide a well-defined, covered entryway for loading and unloading.

Gateway

4. Projects located at the corners of CR 25A and Roads A and B shall include enhanced corner design elements and landscaping to provide a sense of arrival.
5. Buildings with frontage along CR 25A, Road A or Road B shall be designed in a manner so as not to “back-on” to those roadways. Windows, entryways, patios and other design features shall be located along the CR 25A and Road A/B frontages to give the appearance of a primary building frontage.
6. Utility doors and other back-of-house items shall be avoided along CR 25A and Road A/B or appropriately screened from public view.

C. Driveways, Parking and Service Aisles

Driveways

1. Limit driveways to a single right-in right-out on CR 25A.

Drive-Thru Facilities

2. Highway Commercial uses that include drive-thru facilities should locate the drive-thru aisle away from CR 25A and Road A where feasible.
3. Not more than one drive-thru facility may be permitted on a single parcel.
4. Drive-thru aisles shall incorporate covered overhangs and/or trellises and be landscaped on both sides of the aisle. Adjacent planter areas/medians shall be at least 5 feet wide and

shall include trees or other vertical elements such as landscape screens/walls.

5. Pedestrian pathways on parcels with drive-thru facilities shall be clearly delineated by stamped/decorative, color paving.
6. Outdoor/patio dining areas shall be provided with all drive-thru coffee shops / restaurants.

Gas Station

7. A single service/gas station may be permitted within the Highway Commercial Zone.
8. Fuel pump canopy design shall have similar roof form and design to primary building and be of exemplary architectural design.
9. A minimum of 10' wide landscape area shall be provided along all street frontages.
10. A single monument sign with fuel price may be permitted and shall incorporate architectural treatments consistent with the main building.



PART 2: DESIGN STANDARDS AND DESIGN GUIDELINES FOR THE VILLAGE CENTER DISTRICT

The Village Center District includes Village Center Mixed Use (VCMU) Zone and the Village Center Open Space (VCOS) Zone, The Yard, an 11-acre linear park. Residential Uses in the Village Center District are Village Center Medium Density (VCMDR) and Village Center Low Density (VCLDR) Zones. In this District, the DS/DG provide the comprehensive DS/DG for each zone and no General DG/DG's are provided. However, some standards refer to DS/DG in other sections. The VCMDR and VCLDR zones tier off of the General Residential District DS/DG found in Section 3.5.12.

3.5.9 DS/DG for the Village Center Mixed Use (VCMU) Zone

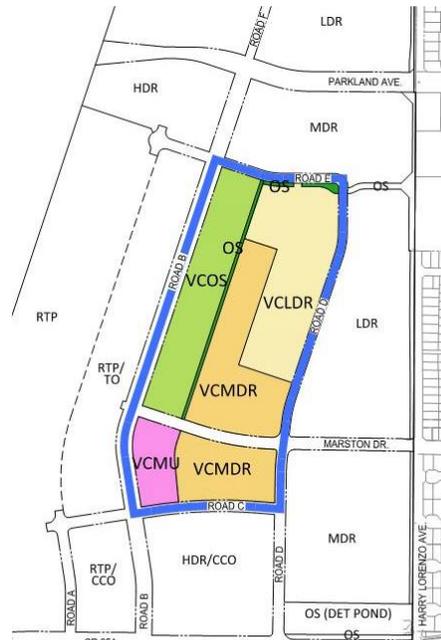
A. Site Design

Well Defined Streetwall

1. Building placement along Road B and Marston Drive should provide clearly defined edges to the public realm and activate the street.
2. For parcels with frontage along Road B and Marston Drive, seventy percent (70%) of the property shall be developed at the minimum setback line (development may be phased over time). Exceptions may be granted to allow for articulated entryways and well-designed outdoor space that includes vertical and horizontal elements that simulate and maintain the appearance of a streetwall.
3. Where portions of a building other than entryways are setback from the sidewalk, the area should be treated as a courtyard or patio.
4. Buildings over three stories should stepback or provide a varied wall plane on street facing upper floors (above the third floor).
5. On-site parking, if provided, shall be located behind the building and away from Road B and Marston Drive.
6. "Tuck under" parking is encouraged, where feasible, as an alternative to surface parking.

Active Corners

7. Buildings located at Road B and Marston Drive should incorporate unique architectural design elements or enhanced façade treatment, fenestration, variation in wall plane, tower elements and interesting signage.



Pedestrian Experience

8. Primary entrances and/or outdoor use areas such as patios shall be located at intervals of no more than 50 feet and should face the public right-of-way or public realm which may include an active alley if that is the primary entrance.
9. Primary business entrances shall not face parking lots.
10. Façade treatments, when adjacent to Road B and Marston Drive should support a comfortable pedestrian experience by incorporating architectural features that provide shade, such as canopies, awnings, overhangs, projections, as well as visual interest through the use of articulated bays, material and surface change and textures, and distinct door and window details.
11. Canopies and awnings should provide a minimum 8-foot clearance above finished grade and may extend over the sidewalk/public right of way.
12. Avoid locating residential uses on the ground floor unless a live-work unit. Lobby entries to upper floor units may be provided along the building frontage but should be carefully placed to avoid disrupting the storefront continuity.
13. Pedestrian access should consider and connect thoughtfully to the mobility hub, The Union.



Roll up doors are encouraged within the Village Center to allow for greater interaction and interest between the built environment and the pedestrian right of way.

Public and Private Outdoor Space

14. Outdoor dining is encouraged and may take place within the public right-of-way subject to an encroachment permit issued by the Community Development Department.
15. Environmental conditions such as sun, shade and prevailing winds should be considered when positioning courtyards and outdoor seating areas.
16. Outdoor patio/dining enclosures (fencing or gates) shall be designed with quality materials and should incorporate landscaping where possible to help soften their appearance.
17. Trees, trellises and other shade structures are encouraged within outdoor courtyards and patios.
18. Outdoor display of merchandise which enhances the appearance and pedestrian experience is permitted, but shall not obstruct the accessible path of travel, any building entrance/exit or accessible ramp. A minimum of 5 feet of clear walk space shall be maintained along all pedestrian paths and public sidewalks.



Outdoor display of merchandise is encouraged within the Village Center. However, a minimum 5-foot clear walk space shall be maintained on all pedestrian paths/sidewalks.



Multi-Use Design

19. Alleys and paseos should be fully designed to allow for shared uses including primary or secondary access to businesses, outdoor dining and attractive pedestrian walkways.
20. The use of pavers or stamped/colored concrete is encouraged within alleys to provide a durable and attractive passageway and help define a shared pedestrian realm.

B. Architecture and Massing



Solid wood, standing metal seam, stone, concrete and masonry, including red brick, are appropriate materials in the Village Center.

Architectural Style and Building Materials

1. Building design should reflect a more traditional urban center with predominantly two and three story buildings.
2. Simple architectural design is preferred with elements of contemporary farm style, warehouse / loft style, and/or ag/industrial rustic.
3. Materials and colors should be well thought out to provide a unified and attractive exterior, but should generally be limited to one base material and not more than two accent materials to avoid a busy appearance.
4. High quality and durable materials such as solid wood, standing metal seam, quarry stone, concrete and masonry, shall be used on all buildings, with particular attention paid to finish types and surface textures that enhance visual interest and variety particularly at the pedestrian level. Innovative "green" materials and/or "green walls" are encouraged.
5. Naturally finished metal, and wood are appropriate as accent materials. The use of stucco siding is permitted but should be limited and applied as smooth texture.
6. Matte finishes are preferred; highly reflective surfaces are generally not appropriate and should be used sparingly as accents only.
7. A rich contemporary color scheme is encouraged.
8. Building lighting, including illumination and fixture style, as well as landscape pallet and location should be considered early in the design process. Lighting and landscaping should be well integrated into the overall project site plan and complementary to the building design and proposed architectural style.
9. Design elements such as roll up doors, string lights, upper level decks, balconies and finished roof tops that can support outdoor gathering/dining opportunities are encouraged to promote a lively urban environment.

Ground Level Façade

10. Facades at the ground level, particularly those facing the public right-of-way, should include frequent entrances and display windows, and should be visually distinguishable from upper levels through the use of architectural detail, awnings, canopies, or by recessing upper floors above the second floor.

11. A majority of ground floor storefronts should be transparent and provide opportunity for storefront display area and/or patron seating/dining. Avoid blank walls greater than 12 feet in length.
12. Buildings located at prominent street corners shall include enhanced architectural features at the corner such as towers or variations in building height as well as design primary covered, entrances near or facing the corner.
13. Building windows should be located on both sides of the corner, and architectural features shall be wrapped around all sides of the building where visible to the public.



Enhanced architectural treatment shall be provided at prominent street corners, particularly at the Road B and Marston intersection.

Vertical Mixed Use

14. Upper level residential uses should be compatible with ground floor retail space and may include studio or smaller one- or two-bedroom units. Large three- and four-bedroom apartment units are generally not appropriate.

Windows

Proper window glazing should allow for visibility and connection between indoor uses and the pedestrian right of way.



15. Windows should be inset or recessed from the wall plane for visual interest and shadow line.
16. Proper glazing should enhance visibility and connection between indoor and outdoor spaces, particularly at the pedestrian/ground level.
17. Tinted glazing is not permitted.

Rooflines and Cornices

18. Rooflines should be considered in the overall building design and should provide an attractive termination of the building through the use of a decorative cornice or parapet, continuous banding or trim, decorative gables or other architectural features that help clearly define the building edge.
19. A simple rectangular roof line is preferred. Shed or sloping roof lines may be used as accents. A simple gable roof may be considered with appropriate pitch and use of materials that reflect a contemporary or farm style architecture.
20. If used, decorative parapets should be extended around the side of a building and contain necessary depth to appear as an integral part of the building design and form.



Lighting

21. Building and on-site lighting shall reinforce the architectural style of the development and enhance the overall ambience.
22. Where appropriate and complementary, up-lighting or rooftop lighting is encouraged to accentuate major architectural details, building form and/or landscape elements at night, however, excessive light and glare shall be avoided.
23. Minimum required illumination shall meet Uniform Security Code requirements as set forth in Title 15 of the Woodland Municipal Code.



Lighting shall reinforce the architectural style of the building.

C. Sustainability

Projects shall comply with the Sustainability Guidelines outlined in Section 3.5.12.B.

D. Screening, Walls and Fencing

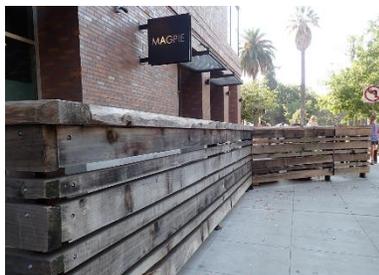
Outdoor Storage

1. Outdoor storage of goods and materials shall be located away from Road B and Marston and shall be screened from public view by way of decorative fencing/trellising, landscaping and/or masonry walls with vines. All requiring screening shall be architecturally compatible and complementary to the overall project.

Mechanical Equipment

2. All utility and mechanical equipment and service areas shall be screened and located away from Road B and Marston Street. Where feasible, mechanical equipment shall be located on top of the building and screened from view with parapet walls.
3. Backflow prevention devices shall not be located within the public right of way or along primary pedestrian streets and be screened with landscaping or low fencing/walls.

Limited Use of Walls and Fencing



Low decorative fencing and walls may be used in limited capacity to delineate shared open spaces and outdoor dining areas.

4. Low decorative walls or fencing may be used in limited capacity to delineate shared or private open space and outdoor dining/patio areas; but should not exceed 36 inches in height within the front setback area or adjacent to public right-of-way.

5. Fencing located outside of the front setback for screening and/or security purposes shall not exceed eight feet in height. All fences over six feet in height require a building permit.)

6. Standard chain link fencing as well as barbed/concertina wire or similar boundary security materials are prohibited within the Village Center District.

E. Trash and Recycling

Enclosures

1. Trash and recycling enclosures shall consist of the same or similar design and materials as the overall project and shall adhere to City trash and recycle enclosure specifications.
2. Enclosures shall be located to the side or rear of the building, away from public view and should be separated from adjacent parking stalls by a minimum 3-foot-wide landscaped planter where applicable.
3. Trellis structures and vines are encouraged as a means of screening the sides and rear of trash enclosures.
4. The area around trash enclosures shall be kept free of trash and debris.

F. Commercial and Residential Compatibility

Commercial / Residential Interface

1. Where commercial and residential uses are located on the same block or combined as part of a mixed-use project, efforts should be taken to minimize potential conflicts between the two uses including locating commercial uses that may generate loud noise, fumes, light, etc., along the street frontage, and residential uses on upper floors away from more intense commercial activity. Rooftops should be considered for commercial exhaust vents and generators.
2. A buffer of lower intensity commercial uses such as office or storage space located between residential units and more intense commercial uses can help minimize potential conflicts between the two.

G. Driveways, Parking and Service Aisles

Driveway Location

1. Driveway placement shall avoid disrupting the streetwall and pedestrian environment and shall be located behind or to the side of buildings. On-site parking, when necessary, shall be accessed from the rear of the property.
2. Minimize the number of driveways to avoid loss of on-street parking spaces.

Driveway Design

3. Driveways should incorporate material changes to alert pedestrians of potential conflict and shall provide good visibility of pedestrians from adjacent roadways and exit points.

Required Parking

4. On-site parking lots/areas shall be located behind buildings, away from Road B and Marston Drive.
5. A common shared parking area is encouraged for employee and customer use for businesses within the Village Center. Undeveloped lots within or adjacent to the Village Center may be used as temporary parking areas in the early phases of the project build



out prior to development and service to the Mobility Hub.

6. The maximum number of off-street parking spaces shall not exceed the following amounts, unless otherwise approved by the Community Development Director:
Commercial, Retail, Service: 1 space per 500 gross square feet
Office, Flex, Research and Development: 1 space per 500 gross square feet
Daycare: 1 space per 1,000 gross square feet
Restaurants, cafes, micro-brewery: 1 space per 4 seats
Residential: 1 space per studio/1 bedroom unit. 2 spaces per 2 bedroom units or greater.
7. On-site parking, if provided, shall be located behind the building. "Tuck under" parking is encouraged as an alternative to surface parking.

Electric Vehicle Charging

8. All commercial parking lots and/or structures shall provide electric vehicle charging pursuant to the California Green Building Standards Code, Tier 1 requirements.

Parking Lot Landscaping and Shading

9. Proper tree variety and placement shall be designed to result in 50 percent parking lot shading within 15 years of installation. Primary entrance roads and driveways not used as back-up areas are exempt from this requirement.
10. Solar and shade covers are permissible, but should not significantly reduce the number of trees otherwise required to provide 50 percent lot shading.
11. Surface parking lots visible from the public right-of-way shall incorporate landscape screening, trellising, low walls/fences at least 36 inches in height to continue a "green wall" and minimize interruption to the streetwall.
12. At least 6 feet of landscaping should separate surface parking from any adjacent sidewalk or public right-of-way.
13. Shaded sidewalks or other pedestrian walkways shall be clearly delineated by way of landscaping and enhanced paving or design and should connect parking areas directly to building entries.

Bike Parking Facilities

14. Bicycle racks shall be placed near building entrances, in safe, well-lit locations, and permanently anchored to a hard, dust free surface, preferably asphalt or concrete slab, and installed in a manner which allows adequate space for access to the bicycle and locking device, and avoid pedestrian conflict.
15. Covered and secured bike parking shall be incorporated into each project for use by residents and employees. The use of bike lockers is encouraged where feasible.



Innovative or artistic bike racks are encouraged within the Village Center provided they remain functional and secure for the user.

Lighting Standards

16. Minimum required illumination shall meet Uniform Security Code requirements as set forth in Title 15 of the Woodland Municipal Code.

H. Signage

Projects within the Village Center District shall comply with the Signage and Wayfinding Guidelines outlined in Section 3.5.3.G (General DS/DG for Research and Technology Park Zones), Additional guidance for the VCMU zone is provided below.



A-Frame Signs

1. In addition to the Signage and Wayfinding guidelines provided for in Section 3.5.3.G, high quality and attractive A-frame signs (4 feet tall by 2 feet wide max) may be located in the public right-of-way in front of small retail, restaurant and café uses when properly weighted or secured to prevent tipping or moving.
2. A-frame signs and similar pedestrian oriented temporary signs may not inhibit accessible travel within the right-of-way and must be brought inside after business hours.

Prohibited Signs

3. Traditional, internally illuminated pan-channel letters and cabinet signs are prohibited with the Village Center. Signage within the Village Center shall be of high quality and custom design and shall contribute to the urban, energized environment envisioned for the District.



I. Public Art

Obligation

1. Public art shall be incorporated within new development projects, including private projects, consistent with the Woodland Municipal Code (WMC), Public Art Ordinance (WMC Section 17.104.200).

Installation

2. The placement and installation of Public Art consistent with the Woodland Public Art Ordinance is encouraged within shared open space areas such as outdoor patios, plazas and courtyards and within view of a large number of people such as along sidewalks, at intersections, within roundabouts and medians, within the VCOS zone (The Yard) and at primary Plan Area gateway locations along CR 25A and Road B.

Artwork

3. Public Art should be unique and of high quality design; however, it is encouraged that artwork located within the public realm be of a unified theme reflective of the Research and Technology Park’s focus on agricultural and technological innovation.

3.5.10 DS/DG for Village Center Open Space (VCOS) Zone

A. Site Design

The Yard will serve as a central gathering place for Plan Area employees, visitors and residents. Formal and informal spaces within the park will allow for a variety of uses and activities.



1. The Yard is intended to serve as a both passive and active recreational linear park designed with formal and informal spaces that provide the flexibility to accommodate various activities and user groups.

2. Public plazas within the park shall be designed to accommodate social and employee gatherings, special events, farmers markets, food trucks, mobile retail vendors and other pop-up uses, should consider design features such as an elevated stage for musical/theatrical performances.

Park frontage along Road B shall consider efficient means to accommodate food trucks and other appropriate pop-up uses so as not to

obstruct traffic or pedestrian walkways along the western edge of the park.

3. Certain areas of the park should remain open and unobstructed by trees and/or berms to allow for informal pick-up games of soccer, volleyball, disk golf or similar uses. Shade trees should be provided at the periphery of open space areas.

B. Commercial/Retail Use

1. One and a half (1-1/2) acres of commercial/retail development is permitted within The Yard consistent with a master park design plan.
2. Architectural design and site development guidelines/standards outlined in Section 3.5.9 A and B shall generally be applied to commercial/retail buildings or structures within the park, as applicable. Appropriate uses within the park generally include coffee shops/kiosks, farmers market, container style micro-brewery/beer garden, restaurants with patio dining, artist studio, fitness studios, small retail shops (e.g. small nursery, florist, or clothing boutique) willing to showcase goods outdoors.
3. Both hard and soft-scape courtyards, plazas and patios are encouraged as connections to and transitional space between commercial/retail uses and recreational open space in the park.
4. A centrally located, covered plaza is encouraged within close proximity to the Village Center commercial area, which may accommodate bike parking as well as open-air kiosks or seasonal market stands.



A covered pavilion within The Yard will allow for year round open air activities including farmer's markets and craft fairs, as well as covered bike parking.

C. Amenities



Covered seating areas including fixed and movable furniture is encouraged within The Yard.

1. The Yard should include furniture, both fixed and movable, for picnics, rest areas and social gatherings. Both built and natural elements should provide sufficient shade during summer months.
2. Pedestrian and bike pathways shall be provided throughout the park, including soft surfaces such as decomposed granite for jogging, and shall connect to off-site bike and pedestrian networks.
3. Public restroom shall be provided.
4. Bike and scooter parking shall be provided throughout the park in safe and highly visible locations, near activity nodes for the use and convenience of cyclists.



D. Lighting

1. Park lighting shall be provided to ensure safety and security and to allow for continued park use and activity after dark. All pedestrian/bike pathways shall be illuminated by way of pedestrian scale overhead lighting or lower level bollard style lighting.
2. Minimum required illumination shall meet Uniform Security Code requirements as set forth in Title 15 of the Woodland Municipal Code.

E. Landscape

3. Landscaping within The Yard shall feature native ground covers and trees, including Valley Oaks, and pollinator friendly plant species.

3.5.11 DS/DG for Village Center Low and Medium Density Residential Zones (VCLDR, VCMDR)

Projects within the VCLDR and VCMDR zones shall comply with the General Residential District Guidelines outlined in Section 3.5.12, found in Part 3 of this document. The guidelines in this section supplement the general residential guidelines provided in Section 3.5.12 in order to enhance the more urban-like character of the Village Center District, while providing a seamless transition to the adjacent residential neighborhoods in the Villages District and to ensure appropriate and positive transitions.

A. Neighborhood Design

Building Orientation, Setbacks and Park Interface

1. Primary entrances to those residential units located along the eastern boundary of and immediately adjacent to The Yard shall be designed to front or appear to front on the park.
2. Primary doorways, stoops, patios/porches and similar design features shall be included to emphasize a strong relationship to the park. Units may include double frontages or provide secondary access from a rear alley.
3. Residential units fronting the park shall be a minimum of two stories in height and shall be setback a minimum of 10 feet, but not more than 20 feet from the Promenade on eastern boundary/right-of-way. Setback areas may include a low fence (36" if solid or 42" if open) or a decorative low wall to delineate private residential property.
4. Public access to The Yard from the VCLDR and VCMDR neighborhoods shall be provided by mid-block paseos, a minimum of 20 feet wide with a minimum 8-foot-wide accessible sidewalk or pathway, every approximately 300 feet between residential units fronting the park.

B. Architecture and Massing

Building Form and Massing

1. Residential units fronting The Yard are encouraged to incorporate design elements such as balconies and roof-top patios/gardens to further activate the park, to allow units to take advantage of park views and to enhance visibility and "eyes on the park" for safety.

2. VCMDR multi-family units fronting The Yard shall convey, through modulation or offset planes, individual residential units. Urban-style row- or townhouses with walk up front stoops that help elevate the units above the ground level are encouraged.
3. Vertical articulation at the front elevation is encouraged to minimize dominant unbroken exterior wall planes.
4. Small lot and higher density residential units shall provide distinguishable and articulated entryways including recessed doorways, overhead projection/awnings, elevated stoops and/or unique paving to differentiate private space from the public sidewalk/pathway.
5. Where live-work or mixed-use retail/residential projects are located adjacent to the park, the ground floor retail/commercial use shall be visually separated and identifiable from upper residential units by way of differentiated façade treatment, articulated wall plane, awnings or other design elements.



Articulated and/or elevated entryways provide a clear and distinct differentiation of public and private space.

Medium- to Low-Density Residential Transition



Proper scale and massing will allow for a seamless transition between residential zones of varying densities.

6. The design and massing of medium- and low-density residential development within the Village Center District should contribute to a unique and unified urban district.
7. Transitional areas should be seamless between the two residential zones through appropriate transition of scale and massing. The height differential between any two adjacent parcels shall be no more than two stories or 25 feet, whichever is less, within 25 feet of the parcel line.

8. Innovative “outdoor rooms” which foster social and neighborhood interaction and include a mix of hard and soft-scape for outdoor seating, fire rings, and patios rather than traditional front yards are encouraged within the district.



Design

- 9. Medium- and low-density residential units within the Village Center District shall incorporate contemporary and/or modern design elements such as flat parapets, metal awnings and clean lines. Traditional suburban architecture and building forms should be avoided.
- 10. Appropriate building materials include, but are not limited to, wood, glass, brick, metal, cement board siding, stucco or tile. Finishes shall be smooth or near smooth.



Modern design elements are encouraged within the Village Center Residential Zones including flat parapets, smooth finish stucco and metal awnings.

Garages and Driveways

- 11. Garages and driveways are not permitted along The Yard frontage. Garages, driveways and parking for those residential units with park frontage shall be located behind the unit



Alley-load design is encouraged within the Village Center Residential Zones to minimize vehicle prominence and enhance the pedestrian realm. Alley design should include landscaping and decorative fencing, taking into account waste bins and other elements that may require screening or storage.

away from the park.

- 12. Alley-load and non-traditional subdivision layouts that minimize automobile prominence and create a more urban and active environment are encouraged within the Village Center Low- and Medium Density residential zones.

- 13. Deviations from setback requirements will be considered on a case-by-case basis to allow for innovative subdivision layout that meet these objectives based on a finding that adequate unit separation for light, air and ventilation and private open space is still maintained as determined by the Community Development Director. Where projects are located adjacent to existing residential development, setback standards shall be maintained except as provided for in Chapter 7, Section 7.4.1.2, Minor/Administrative Modifications.

PART 3: DESIGN STANDARDS AND DESIGN GUIDELINES FOR THE VILLAGES DISTRICT

The following guidelines provide site planning and design direction for all land use zones within The Villages District. These zones include LDR, MDR, HDR and HCR/CCO. Section 3.5.11 provides standards and guidelines that apply broadly to all residential zones. In addition, 3 sections of Special Character Guidelines are provided for zones of HDR, HDR/CCO, for MDR and LDR sites located in East Villages and for LDR sites located in the North Village. The “Special Character” guidelines are intended to enhance or in some cases supersede the broader Residential District guidelines. If conflicts arise between the General Guidelines and the Special Character Guidelines, the Special Character Guidelines shall take precedence.



3.5.12 General DS/DG for all Residential District Zones (LDR, MDR, HDR, HDR/CCO)

A. Neighborhood/Site Design Building Orientation and Setbacks



Subdivisions designed around and fronting shared open space are encouraged within the Village District.

1. Homes, including multifamily projects, shall be oriented to the street, open space, or common areas. All street-facing dwelling units must have the primary entrance facing or within 30 degrees of a public street or internal walkway.
2. Within Medium and High Density Residential zones, buildings should be located at or near the required minimum setback to enhance the streetwall and activate the public realm.
3. Front yard setbacks along a street may vary by up to 25 percent, subject to the setback requirements for residential uses, to create an interesting and attractive street edge and

support visual continuity on the block.

4. Active living spaces including community spaces, recreation rooms and gyms should be oriented to the front of the home/unit and at the ground level in multifamily projects.



5. Enhanced entryway features such as porches, stoops, balconies, decorative landscaping/paving at entryways, windows, and other architectural elements shall be incorporated to enhance the pedestrian-scale and character of the street.
6. For multifamily housing development, the minimum building separation shall be maintained to provide sufficient privacy between units, private outdoor open space and balconies. Windows, balconies, patios, and courtyards should be oriented to protect the privacy of users and reduce unwanted noise between units.



Elevated front stoops help distinguish between the public and private realm.

Lot and Building Variations

7. For detached single family lots in MDR and LDR zones, building elevations shall be varied to create interest along the street and include:
 - A mix of single, two and three-story units along a block, where appropriate;
 - Variation in the homes along the same street with different building heights, setbacks, massing, and roof shapes;
 - Avoidance of repetition of identical floor plans or elevations in homes next to each other;
 - Street corners suited for architectural treatments that engage the street, such as windows, wrap around porches, and other ground floor building articulation.
8. For multifamily housing in MDR and HDR zones, building design shall incorporate varied wall planes, scale and massing.
9. No building façade may extend n a continuous plane for more than 15 feet without a window or projection, offset, or recess of the building wall at least one foot in depth.
10. All street-facing facades shall have at least one horizontal or vertical projection or recess at last two feet in depth, for every 25 horizontal feet of wall. Building entrances and front porches may count toward meeting this requirement.



Varied wall planes, scale and massing should be used to break up and add interest to multi-unit residential buildings.

11. Where adjacent to single family or lower-density residential development, building scale and massing should be compatible with the character, rhythm, height, and massing of adjoining single family or lower density development. The height differential between any two adjacent parcels shall be no more than two stories or 25 feet, whichever is less, within 25 feet of the parcel line.
12. In order to achieve architectural diversity within low density (LDR), residential subdivisions, the following minimum range of different floors plans and building elevation shall be provided:

Number of Units	Required Number of Floor Plans	Minimum Required Number of Elevations (per plan)
<25 units	2 plans	4 elevations (2 per plan)
25-50	3 plans	9 elevations (3 per plan)
51-75	3 plans	9 elevations (3 per plan)
76-120	4 plans	12 elevations (3 per plan)
>120	5 plans	15 elevations (3 per plan)

Common and Private Open Space within Multifamily Residential Developments



Multifamily residential units should be designed around common open space incorporating walking paths, garden boxes and seating areas for resident enjoyment.

11. Arrange multi-family residential buildings to provide functional public and private outdoor space for residents.

12. A minimum of 48 square feet of open space shall be provided per unit in high and medium density residential zones where multifamily projects are proposed. Required open space may be private or common or a combination.

13. Common open space areas and facilities should be conveniently and centrally located to serve the majority of units. Amenities such as pools, club houses, or other recreation areas, common patios or greens, seating, picnic spots, tot lots, community garden boxes, and walking paths should be

incorporated, where appropriate, to serve different age groups and/or the anticipated



residents of the development.

14. Private open space, such as front yard area patios, stoops, porches, backyards, and balconies (for upper story units) is encouraged, contiguous to the units it serves.
15. Private open space, where provided, shall be a minimum of 48 square feet per unit and provide functional and comfortable outdoor living, including appropriate depths to accommodate chairs and small tables. Personal storage spaces can be designed as an extension of the private open space, but shall not count toward meeting private open space requirements for each dwelling unit.
16. Private open space should be integrated into the design of building and designed and located to take advantage of the winter sun and/or shade and breezes in the summer months, to the extent possible.

Connectivity

17. For multifamily development projects, an on-site pedestrian circulation system shall connect residents internally within the development to parking areas and open space, as well as to neighborhood sidewalks, paths and transit stops.
18. Adjacent commercial and retail uses shall be easily accessible by way of internal and/or mid-block paseos and pathways that connect residents to such amenities without requiring residents to walk to the perimeter of the block.
19. Where residential block sizes exceed 600 feet in length, a mid-block paseo, a minimum of 20 feet wide with a minimum 8-foot-wide accessible sidewalk or pathway, shall be provided to facilitate better internal connection for area residents.
20. Along pedestrian paths and paseos, provide pedestrian amenities, such as shade trees, seating, lighting, and landscaping, to extend the open space area and support safe pedestrian use.



Pedestrian walkways should connect residents to adjacent common areas, parks, parking areas, or other amenities.

B. Architecture and Massing

Building Materials

1. Building materials, textures, colors and treatments should be varied to avoid a dull monotonous façade, but should correspond to variations in mass and wall plane.
2. Materials should appear substantial and integral to the structure. Materials shall be durable to withstand weathering with age. Exterior finish materials shall have an expected lifespan of no less than 30 years. Non-durable materials, such as plastic, tin, and vinyl shall be avoided, as well as highly reflective materials. Exterior timber shall be protected from decay by stain and sealant.
3. When applicable, masonry must be applied authentically. Masonry shall wrap corners and terminate at inside corners. Other material changes shall occur at an inside corners or other appropriate transition elements, such as a fence line.
4. Stucco finishes shall be smooth or very light sand finish. Stucco foam trim, where used, shall be smooth finish or shall incorporate a natural woodgrain texture where appropriate.
5. Heavy knock down or "lace" stucco is not appropriate.



Exterior building materials should be high quality and correspond to changes in massing and wall plane.

Building Form and Architectural Style

6. Where the distance between multi-family buildings is 15 feet or greater, all elevations shall be articulated with windows, frames, shutters, and/or other architectural treatments consistent with the primary elevation. At corner lots, side yard facades shall maintain the same level of architectural detail as the front/primary façade.
7. Multi-family buildings shall convey, through modulation or offset planes, individual residential uses. Porches, stoops and balconies may be used to orient the building and residential units toward the street.
8. Long multifamily buildings should appear as distinct and articulated smaller buildings that complement the scale and massing of surrounding housing. Create variations in building facades through use of varied massing, shape, materials, and roof forms.
9. Building heights shall transition between larger-scale (medium- and high-density) and smaller-scale (low- and medium-density) projects on adjoining lots or across a shared street. The height differential between any two adjacent parcels shall be no more than



Multifamily buildings can convey individual residential uses through variation in wall plane, massing, materials and design elements such as elevated front entryways.



two stories or 25 feet, whichever is less, within 25 feet of the parcel line.

10. Shade/shadow impacts shall be minimized by stepping back upper floors above three stories.
11. Windows shall be located in a manner that avoids direct views into adjacent single family yards to respect and maintain privacy to the extent possible.
12. Contemporary cottage, urban farmhouse or similar and/or complementary styles are encouraged within the lower density zones. A mix of modern and traditional architectural styles are appropriate for higher density residential development.

Porches, Entries and Courts

13. Entryways should be appropriately sized to the scale and massing of the home or building and should provide roof cover.
14. Porches, verandas, and other architectural elements such as a sidelight window panel should provide a clear sense of entry and design interest to a home.
15. Porches, patios, and forecourts shall have a minimum depth of 6 feet to accommodate circulation and chairs.
16. A pathway separated from the driveway leading from the sidewalk to the entry should be provided.



Doors and Windows

17. Doors and windows should be designed to add visual interest to the building elevation, while complementing the style and architectural features of the home.

18. Windows on street facing units should orient substantially toward the street. Windows should be inset from the wall and designed with high quality trim and details.
19. Exterior doors shall include raised panels, glass, transom windows, or other forms of architectural detail and articulation and should be inset a minimum of 3 inches from the building façade.



Doors and windows should provide high quality detailing and trim that complement the overall architectural style of the home.

Roofline



Varied rooflines add interest to a neighborhood and streetscape.

20. Variety in roof forms, ridge heights, massing, and overhangs will give individual character to homes and also provide an interesting rhythm and continuity along the street.
21. Where consistent with the architectural style of the home, the roof form should be articulated through use of dormers, bays, porch roofs, clerestories, cross gables, and hip forms that break up the roof and provide interest along the street.
22. Wide overhangs are encouraged, to provide shadow and depth to building elevations.
23. Rooftop gardens, decks or patios are encouraged, in multi-family developments but should take into account sun, and/or shade and breezes in the summer months.

Garages and Driveways

24. Garages in residential neighborhoods should be designed to be subordinate to the main living area, yet consistent in design.
25. Homes with garages facing the street are encouraged to have the garage door offset behind the front façade of the living area and covered porch, where provided. Alternative designs may be appropriate where sufficient and enhanced landscape design creates a usable outdoor living room and minimizes the prominence of a garage forward design.
26. Garage doors shall include patterns complementary to the architectural character of the house. Windows should be considered to allow for natural light. Frosted/opaque windows may be used to enhance security. Garage doors shall be recessed a minimum of six inches from the garage door frame.
27. Three car garages must separate and offset the third car garage elevation from the others



by at least two feet in width and depth.

28. Detached garages and carports shall be designed to include a minimum of one of the following from the main building: materials, detailing, roof materials, and colors.
29. Use of alternative pavement surfaces, such as concrete pavers, brick, or stone and alternative driveway treatments, such as ribbon driveways are encouraged. Ribbon driveways are made up of two parallel strips of paving, with a strip of grass or pervious pavers between the paving strip, to minimize the impervious driveway surfaces to the area where the vehicle will be driving or parking.

C. Small Lot Development

Entryways

1. Small lot and higher density subdivisions should provide distinguishable and articulated entryways including recessed doorways, overhead projection/awnings, elevated stoops and/or unique paving to differentiate private space from the public sidewalk/pathway.
2. A separation of at least 8 feet shall be provided between the entryway of one unit and the nearest adjacent building wall to allow for sufficient light and ventilation between units. A minimum of 7 feet of the separated distance should be clear to the sky.
3. Address and unit identification as well as decorative low-level lighting shall be provided at the primary entrance.



Small lot residential development should provide distinguishable entryways through small patio spaces, elevated stoops or alternative paving.

Private Outdoor Space

4. Small lot developments should maximize access to private outdoor space, light and air through the use of roof decks and private balconies/patios.

Private courtyards can be incorporated into small lot development through low walls, appropriate vegetation or other design appropriate space delineators.



D. Sustainable Design

Energy Conservation

1. Energy conservation strategies, including window shading devices, selection of colors to reduce heat gain, energy efficient case windows, cool roofs, high-quality insulation and radiant barriers, solar panels, and other features are encouraged to reduce energy consumption associated with heating and air conditioning during winter and summer months, while also contributing to a local community vernacular.
2. All housing units shall be pre-wired for electric vehicle and solar PV systems.
3. Energy-Star rated residential appliances should be incorporated where appropriate.
4. Home and building design and placement should take advantage of passive solar opportunities.
5. Builders are encouraged to use advanced house framing or optimum value engineering to reduce lumber use and waste and improve energy efficiency in a wood framed house.



Architectural detailing such as window awnings or overhangs can minimize direct sunlight intrusion in summer months and reduce the need for artificial cooling.

Water Conservation



Bioswales can serve as natural stormwater filtration and attractive landscaping within a project.

6. Water reduction strategies including the use of high efficiency, low-flow fixtures and tankless water heaters shall be incorporated.
7. Residential projects shall control and treat storm water runoff onsite to the extent feasible through green roof design, onsite bioswales and biofiltration systems or other measures.
8. Recovery of graywater for on-site uses including landscaping is encouraged
9. Residential projects shall connect to the City's reclaimed water system for landscape irrigation.
10. Install climate sensitive irrigation systems and other water-efficient bubblers and drip irrigation systems.



Sustainable Materials and Construction Practices

11. Sustainable, local and renewable building materials should be used and verified whenever feasible.
12. Projects shall strive to reduce or eliminate waste during design, construction, operation and end of life in order to conserve natural resources.
13. The use of low-carbon cement is encouraged whenever feasible and/or the use of alternative materials.
14. Consider prefabricated building/structural components when feasible.
15. Leftover material stock should be recycled, donated or returned for alternative use at the completion of construction.

Electrification

16. All new residential housing units shall be all-electric ready, including providing for sufficient capacity in the installed utility service, dedicated wiring, reserved electrical breaker space, and a space large enough for future electric appliances or equipment. When feasible, all new buildings shall be all-electric. All new development shall meet California Green Building Code requirements.

Low Water Landscape

17. Landscaping should consist of climate-appropriate plantings, including drought-tolerant and native species suited to the Woodland community.

E. Landscaping

Residential Landscaping

1. Native plant species should be used whenever possible.
2. A variety of shrubs and groundcover species as well as a balance of hardscape and paving shall be used within common open space areas and courtyards within multifamily projects and along pedestrian pathways and paseos.
3. Lawns and highly ornamental landscaping that require frequent pruning and maintenance should be used sparingly.
4. The design and location of trees and landscaping for homes shall consider opportunities for solar access and solar panels, as well as, shading and ventilation on hot summer months.
5. Trees shall be a minimum of 15-gallon size and shrubs a minimum of 5-gallon size at the time of planting.
6. Soil amendments shall be applied to support plant health and longevity.



Native and drought tolerant landscaping is encouraged throughout the Plan Area.

Landscaping Adjacent to SR 113

7. Landscaping along SR 113 shall consist of a mix of trees, low groundcover and vine training on all sound walls or highway adjacent perimeter fencing.

F. Walls and Fencing

Height requirements

1. Interior and Corner Lots. Only fences or walls at or under three feet, six inches (3'-6") in height may be placed along the front yard property line or within the front yard setback area.
2. Interior Lots. Fences or walls at or under seven feet (7'-0") in height may be placed within the rear yard or interior side yard setback areas.
3. Corner lots. Fences and walls greater than three feet, six inches (3'-6") in height up to a maximum of seven feet (7'-0") in height shall maintain a minimum setback of five feet from the street side property line. Only fences and walls three feet, six inches (3'-6") in height or less may be located within five feet of the street side property line of corner lots.

General

4. All fences over six feet in height require a building permit.
5. For swimming pool fencing, refer to WMC Section 17.104.100(E)
6. Solid masonry or block walls in the community will be limited to those areas requiring sound attenuation to achieve noise standards and screening from unsightly elements, such as trash areas. Sound walls are not expected to be required within the Plan Area, except where necessary along SR 113 where adjacent to residential development.
7. The preferred edge treatment along CR 25A adjacent to residential uses is an open style fence softened with landscaping to provide security and privacy to residences.
8. Where long expanses of wall or fences are determined to be unavoidable, based on a noise analysis, articulation of the wall with offsets or landscaping shall be implemented.
9. Vines shall be planted and trained on all masonry walls.
10. Walls or fences along CR 25A should not exceed a maximum unbroken length of 400 feet, without an opening for pedestrian access.
11. Allowable materials for walls include:
 - Stamped or embossed concrete or concrete block with patterns and colors that reflect Woodland's local context, such as agriculture, agricultural technology, native trees and grasses, and/or historic themes;
 - Natural or cultured stone; and



Vines and landscaping help soften retaining walls and masonry walls required for sound attenuation.



- Brick or similar materials with colors that are compatible with building color themes within the RTP zones.
12. Chain link fences and wrought iron or steel fencing with points or spears are prohibited in all residential areas.
 13. All wood fencing shall be protected with a colored, semi-transparent water sealant stain.
 14. Wood fencing in residential areas shall include a decorative cap where visible from the public right of way (i.e. not dog eared).

G. Street Lighting

1. Pedestrian-scaled ornamental street lights should be located along public streets and internal walkways between housing units to provide adequate illumination for safety and navigation. Alternatively, bollard lights may also be provided along internal walkways subject to City approval.
2. Lighting shall be directed and shielded to avoid unintended spill over onto adjacent properties. A minimum of 1-foot candle of lighting shall be provided within parking areas, along pedestrian pathways and at building entrances. "Hot spots" of 10-foot candles or more shall be avoided.
3. Required illumination shall at minimum meet Uniform Security Code requirements as set forth in the Woodland Municipal Code.

H. Signage

General

1. Design Review approval is required for all signage.
2. Signage within residential zoning designations is permitted only where commercial uses are also allowed and for multi-family/apartment developments.

Setback, Height and Area Requirements

3. Sign setback, height and area requirements are subject to the Table 3.5:

	Max Sign Height		Min Setback from Property Line	Total Sign Area Per Business	Total Sign Area Per Business Cannot Exceed
Zone	Wall Mounted Signs	Ground Mounted Signs	Ground Mounted Signs	All Permanent Signs	All Permanent Signs
LDR, MDR, VCLDR, VCMDR	12ft	4ft	3ft	-	20ft
HDR, HDR/CCO	20ft	12ft	5ft	The length of building frontage x 1.5	175sf

Location

4. Signs should be considered during building design and properly scaled and located so as not to dominate or interfere with architectural detailing and overall building façade.
5. Signs should consider pedestrian readability and should help identify the location of primary entrances to the building or community.
6. Permanent rental or real-estate signs are not permitted.
7. Cabinet, box-signs and internally illuminated pan-channel letters are prohibited in residential zones and on residential projects. Signage should be of high quality design and materials.
8. Multi-tenant signage within the HDR/CCO zone should be coordinated and cohesive in appearance including consistent sizing and lighting requirements.
9. Customized projecting, blade signs or under canopy signs are encouraged within the HDR/CCO zone. Blades signs must provide at least 8 feet of vertical clearance as measured from the sidewalk to the base of the sign.
10. Signs and structural features shall be subject to cross visibility requirements as outlined in the Woodland Municipal Code and subject to review and approval by the City Traffic Engineer.

Text

11. Signs may only contain the name and logo or symbol of the business/residence and its street address. Trade slogans and commercial advertisements are not permitted.
12. Logos shall not exceed 4 square feet in size except if it is determined by City Planning staff that building scale or other factors, such as enhanced design and quality, warrant increased logo square footage.

Materials and Design

13. Signs shall be constructed using durable, fade and weather resistant materials such as stone, tile, cast concrete, or other similarly durable masonry, metal or wood materials consistent with the architectural design and style of the building.
14. Unique and creative sign design is encouraged to enhance the unique identity of the Plan Area and residential zone.
15. Faded or damaged signs shall be replaced or repaired in a timely manner.
16. Cabinet or box signs, roof mounted signs, window signs above the second floor and pole mounted signs are not permitted.
17. Feather signs, flags, banners and other attention getting signs or devices are prohibited except in the HDR/CCO zone during grand openings, in which case they must be removed within 30 days.

Illumination

18. Signs shall be spot illuminated from the front or consist of letters, numbers, or graphics that are halo backlit. Internally illuminated pan channels letters are not appropriate except within the Community Commercial and Highway Commercial zones. Neon is permitted



when integrated into custom designs.

19. Flashing, traveling, animated, or intermittent illumination is prohibited.
20. Exposed conduit, tubing and raceways are prohibited. Transformers and other equipment shall be fully screened/concealed.

I. Trash, Recycling and Enclosures

Mechanical Equipment and Trash Enclosures

1. All mechanical equipment, service areas and trash enclosures shall be located away from or adequately screened from public view by solid fencing, decorative landscaped walls, and/or landscaping. Backflow prevention devices shall not be located within the public right of way or along primary pedestrian streets.

Enclosures - Multifamily

2. Trash and recycling enclosures within multi-family development projects shall consist of the same or similar design and materials as the overall project and shall adhere to City trash and recycle enclosure specifications.
3. Enclosures shall be located to the side or rear of the building, away from public view and should be separated from adjacent parking stalls by a minimum 3-foot-wide landscaped planter where applicable.
4. Trellis structures and vines are encouraged as a means of screening the sides and rear of trash enclosures.
5. The area around trash enclosures shall be kept free of trash and debris.



Trash and recycle enclosures should be designed with similar or complimentary materials as the overall project.

Trash receptacles – Single Family

6. A minimum 3'x10' concrete pad shall be provided behind the fence line and away from public view for single family trash totes and storage containers. A clear/unobstructed path of travel from the pad to the street shall be provided for ease of disposal.

J. Circulation and Parking

Circulation and Parking



Pedestrian paths should provide ease of access to common space, parking areas or other amenities within or adjacent to the project.

1. Whenever possible, separate access for pedestrians from vehicles and high-use pedestrian walkways and crosswalks with color or special paving treatments. Pedestrian access should be prioritized over vehicular access.
2. Street facing driveways should be limited to 20 feet in width or less.
3. The number of driveways should be minimized to avoid loss of on-street parking spaces.
4. Within multi-family housing projects, pedestrian paths should be clear, understandable and easy to navigate, with emphasis on connecting to common open space and adjacent public streets, sidewalks, and local destinations and to amenities such as commercial services, transit facilities, and the open space greenbelt.
5. Minimize the visual prominence of vehicles from the street front by siting parking areas to the side or rear of the property and providing smaller parking areas, rather than one large parking lot.

6. Parking areas including pedestrian walkways shall be illuminated for safety and security.

Electric Vehicle Charging

7. All multifamily residential parking lots and/or structures shall provide electric vehicle charging pursuant to the California Green Building Standards Code, Tier 1 requirements.
8. All single family, townhomes and duplexes must be EV capable.

Parking Lot Landscape and Shading

9. On-site parking in medium- and high-density residential developments should be located internal to the site and away from public roadways. Surface parking lots should be avoided in favor of "tuck under" parking where feasible.
10. Proper tree variety and placement shall be designed to result in 50 percent parking lot shading within 15 years of installation. Primary entrance roads and driveways not used as back-up areas are exempt from this requirement.
11. Solar and shade covers are permissible in medium- and high density developments, but should not significantly reduce the number of trees otherwise required to provide 50 percent lot shading.
12. Surface parking lots visible from the public right-of-way shall incorporate landscape screening, trellising, low walls/fences at least 36 inches in height to continue a "green wall" and minimize interruption to the streetwall.
13. At least 6 feet of landscaping should separate surface parking from any adjacent sidewalk or public right-of-way.



14. Shaded sidewalks or other pedestrian walkways shall be clearly delineated by way of landscaping and enhanced paving or design and should connect parking areas directly to building entries.

Bicycle Parking

15. Bike racks and lockers shall be provided and located within 30 feet of multifamily and mixed-use building entrances, in a safe, well-lit area, and permanently anchored to a hard, dust free surface, preferably asphalt or concrete slab, and installed in a manner which allows adequate space for access to the bicycle and locking device, and avoid pedestrian conflict.



Bike parking facilities should be located in a visible and well-lit area and permanently anchored to a dust free surface.

Alley Access

16. Rear loaded garages with alley access is encouraged where feasible.
17. The use of pavers or stamped/colored concrete shall be provided within alleys to provide a durable and attractive passageway and help define a shared pedestrian experience.
18. Alleys shall include a minimum of 1-foot candle of lighting for safety and security. Address signs shall be illuminated.

3.5.13 Special Character Guidelines for High Density Residential Zones (HDR, HDR/CCO)

A. Site Design

Well Defined Streetwall

1. Building placement along Road B should provide clearly defined edges to the public realm and activate the street.
2. For parcels with frontage along Road B within the HDR/CCO Zone, 60 percent (60%) of the property shall be developed at the minimum setback line (development may be phased over time). Exceptions may be granted to allow for well-designed outdoor space that includes vertical and horizontal elements that simulate and maintain the appearance of a streetwall.
3. Within the HDR/CCO zone, a minimum of 60 percent (60%) of the Road B frontage ground floor uses shall consist of commercial/retail uses. This minimum requirement may be reduced or waived by the Community Development Director for an affordable housing project.
4. Buildings over three stories should stepback or provide a varied wall plane on street facing upper floors (above the third floor) to maintain a human scale streetwall.
5. The number of limited access (right-in/right-out) driveways shall be limited to one from Road B between CR 25A and Road C unless otherwise approved by the city, to minimize

disruption to the pedestrian environment.

6. On-site parking is not permitted along the Road B frontage.
7. Landscaped and illuminated pedestrian connections shall be provided between the HDR zone and the North Campus Research and Technology Park.

B. Architecture and Massing

Gateway (Primary)

1. Buildings located at or the near the corner of CR 25A and Road B should be designed in a manner which provides a sense of arrival and should reflect the distinctive character of the Plan area as an agricultural and technological center for innovation.
2. Enhanced landscaping shall be provided along CR 25A between Road B and Road D with an emphasis at the intersection of CR 25A and Road B to accentuate this location as the primary Plan Area entryway.

Road B Frontage

3. Residential and/or mixed-use residential projects with frontage along Road B in the North or South Urban Village shall be designed in a manner so as to not “back-on” to Road B. Windows, entryways, patios and/or other design features shall be located along the Road B frontage to give the appearance of a primary building frontage.
4. Utility doors and other back-of-house items shall be avoided along Road B and CR 25A or shall be screened from public view by decorative trellising landscaping.

Ground Floor Articulation and Activity



The ground floor of mixed use buildings along Road B shall include retail and commercial uses to bring activity to the public realm.

5. The ground floor of all buildings, particularly those façades facing the public right-of-way, should support activity on the street and bring the life of the building into the public realm through the use of frequent and well defined building entryways, façade transparency at the street level, and through architectural detailing such as awnings, canopies, recesses, and enhanced materials and surface changes that provide an interesting and pleasant public experience.

6. Active uses should be located on the ground floor along the building frontage, visible to the public realm/public right-of-way and may include, but are not limited to

retail storefronts, cafes/restaurants, community rooms and kitchens, employee support areas, recreational facilities, exhibition space, and lobbies.

7. Articulated wall planes at the ground floor along the public right-of-way or where substantially visible to the public should be offset by at least 2 to 4 feet and may be combined with color or material changes to provide substantial shadow lines and visual



interest and allow for enhanced landscaping along the base of the building.

C. Driveways, Parking and Service Aisles

Driveway Location

1. Driveway placement should avoid disrupting the streetwall and pedestrian environment and should be shared, located behind or to the side of buildings whenever possible.

Parking

2. On-site parking shall be located behind buildings and away from CR 25A and Road B.

D. Commercial and Residential Compatibility

Mixed Use Projects

1. Where mixed-use projects include residential units in the HDR/CCO zone, special consideration should be given to the location of noise or odor generating or visually unappealing equipment, including vents/fans, refrigeration units and trash enclosures.
2. Proper screening, odor reduction and sound attenuation shall be provided to reduce impacts and screen such equipment from residential units/view.
3. Commercial uses along Road B should locate at the ground floor and residential units locate above the ground floor to minimize noise impacts to the residential units and to maintain an active gateway area streetscape.
4. If residential units are located along Road B, a landscape buffer of at least 10 feet shall be provided from back of walk.

3.5.14 Special Character Guidelines for Low Density Residential (LDR-East Village) and Medium Density Residential (MDR) Zones

A. Neighborhood Design

Building Orientation and Setbacks

1. Alley-load and non-traditional subdivision layouts that create a more urban and active environment are encouraged within the East Village Low and Medium Density residential zones.
2. Deviations from setback requirements will be considered on a case-by-case basis to allow for innovative subdivision layout that meet these objectives based on a finding that adequate unit separation for light, air and ventilation and private open space is still maintained as determined by the Community Development Director. Where projects are located adjacent to



Non-traditional residential design may include alley load and cluster style development. Where appropriate, deviation from traditional setback standards will be considered to support such development.

existing residential development, setback standards shall be maintained except as provided for in Chapter 7, Section 7.4.1.2, Minor/Administrative Modification.

Adjacency to Harry Lorenzo Greenbelt

3. Residential units within the East Village are encouraged to front onto the Harry Lorenzo greenbelt or are designed in such a manner as to actively engage with the trail system through open style fencing, patio orientation or through the incorporation of accessory dwelling units that front on to the trail.
4. Residential units shall not back on to a greenbelt trail or pedestrian path/paseo and garages/driveways shall not be located adjacent to (or front on to) greenbelt trails/pedestrian paths.
5. Subdivisions between Parkland Avenue and CR 25A within the East Village shall incorporate pedestrian connections via paseos or local roads from the Harry Lorenzo greenbelt to the Village Center District at least every 300 feet.

Adjacency to Marston Road and Parkland Avenue

6. Low density, detached single-family units are discouraged from fronting on to Marston Road or Parkland Avenue.
7. Rowhouse/townhouse style residential design is encouraged in the Medium Density Residential zone where adjacent to Marston Road. (See Chapter 6, Section 6.5.3, RDZ Density Requirements)
8. Units are encouraged to front Marston Road creating an active, urban streetscape, but may include a secondary alley load entrance away from Marston.
9. No driveways or on-site vehicle parking is permitted along the Marston Road frontage.
10. Walk up stoops or other elements providing a vertical separation between residential units and Marston Road is encouraged.
11. The number of access driveways between Road B and the Harry Lorenzo greenbelt should be limited to avoid disrupting the pedestrian environment.

3.5.15 Special Character Guidelines for Low Density Residential (LDR-North Village) Zone

A. Neighborhood Design

Innovative circulation/infrastructure solutions

1. Innovative neighborhood design concepts are encouraged throughout the Specific Plan's residential districts. In particular, innovative and non-traditional pedestrian paths, landscaping and natural storm drain/water filtration systems that create a distinct, more rural neighborhood character should be considered in the North Village.
2. Curving (non-grid) streets are permitted in the North Village as a means of creating an organic neighborhood design. However, pedestrian connectivity should still be provided throughout the neighborhood and to the Harry Lorenzo greenbelt and to Parkland Avenue.



Adjacency to Hwy 113

- 3. Residential units that back up to Hwy 113 shall maintain a minimum 30 foot setback from the soundwall/Hwy 113.
- 4. Single story homes are encouraged where adjacent to Hwy 113.

Adjacency to Harry Lorenzo Greenbelt

- 5. It is encouraged that residential units within the North Village front onto the Harry Lorenzo greenbelt or are designed in such a manner as to actively engage with the trail system through open style fencing, patio orientation or through the incorporation of accessory dwelling units that front on to the trail.
- 6. Residential units shall not back on to a greenbelt trail or pedestrian path/paseo and garages/driveways shall not be located adjacent to (or front on to) greenbelt trails/pedestrian paths.



Accessory Dwelling Units are encouraged along the Harry Lorenzo Ave greenbelt to actively engage the trail system.

Adjacency to Parkland Avenue

- 7. Low density, detached single-family units are discouraged from fronting on to Parkland Avenue.

B. Architecture

Design

Architectural styles within the North Village should help create a distinct neighborhood identity and should generally consist of Urban/Modern Farmhouse, Contemporary Cottage or French Country building forms and elevations.



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