



**HRGA**

2277 Fair Oaks Boulevard, Studio 220  
Sacramento, California 95825  
916.993.4800 | www.hrgarchitects.com

## BEAMER APARTMENTS

1021 Beamer St, Woodland, CA 95695

01/10/2024

23030

1



SITE PLAN 1/16" = 1'-0" 1



VICINITY MAP

PROJECT NAME: BEAMER APARTMENTS  
 PROJECT LOCATION: 1021 BEAMER ST WOODLAND, WOODLAND, CA 95695  
 ASSESSORS PARCEL #: 005-060-025-000  
 LOT SIZE: 42,000 SQ FT / 0.96 ACRES  
 ZONING: CMU-E (CORRIDOR MIXED USE - EAST ST)  
 OCCUPANCY / USE: R-2, MULTI-FAMILY  
 PARKING DIMENSIONS: 90 DEGREE STANDARD  
 Space Width: 9FT  
 Space Depth: 19FT  
 90 DEGREE COMPACT\*  
 Space Width: 8FT  
 Space Depth: 16FT  
 Two-Way Maneuvering Width: 24 FT  
 \*Compact car spaces. Up to 20%.  
 LANDSCAPE SETBACKS: 10 FT ADJACENT TO SINGLE FAMILY HOUSES  
 PARKING LOT SHADING: TBD  
 PARKING FOOT-CANDLES: ALL MULTI-FAMILY HOUSING SHALL HAVE A MINIMUM OF ONE FOOT-CANDLE OF LIGHT ON THE PARKING SURFACE DURING HOURS OF DARKNESS, PER CITY CODE SECTION 15.04.090  
 FEMA FLOOD MAP NUMBER: 06113C0445H

	ZONING REQUIREMENT:	PROVIDED:	MEETING CODE
BUILDING HEIGHT:	40FT/ 30H WITHIN 40 FT OF RESIDENTIAL	3 STORY/ 36FT	YES
FRONT SETBACK:	15 FT	6 FT	YES
STREET SIDE:	MIN 10 FT - MAX 15 FT	N/A	N/A
INTERIOR SIDE SETBACK:	5 FT	64'-1" (EAST) 50'-6" (WEST)	YES
REAR SETBACK:	10 FT	39'-2"	YES
FAR:	0.25 TO 2.0 FOR SINGLE USE	0.81	YES
DENSITY:	MAX 40 U/A	38 + 2 ADUS	YES
OPEN SPACE:	5% OF THE TOTAL BLDG AREA 34,125 X 5% = 1,706 SF	1,706 SF	YES
PARKING REQUIREMENT:	1 PER UNIT/NO PARKING REQ. FOR ADUS	40 STALLS	YES
RESIDENTIAL BIKE PARKING:	1 SPACE PER 5 DWELLING UNITS	8	YES

ZONING INFORMATION

BUILDING SUMMARY:

LEVEL	GROSS AREA	NUMBER OF UNIT TYPES			TOTAL UNITS
		STUDIO 465 SF	ONE BED 730 SF	TWO BED 1,065 SF	
LEVEL 1	11,445 SF	10	2	4	16
LEVEL 2	11,340 SF	-	7	5	12
LEVEL 3	11,340 SF	-	7	5	12
<b>TOTAL</b>	<b>34,125 SF</b>	10	16	14	<b>40*</b>

\*TWO UNITS SHALL BE RESTRICTED AS AFFORDABLE FOR LOW-INCOME RESIDENTS

PARKING SUMMARY:

PROVIDED	RATIO TO UNITS
40 STALLS	40/40 = 100%

EV PARKING REQUIREMENTS: CAL GREEN CODE 2022: 4.106.4 ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION

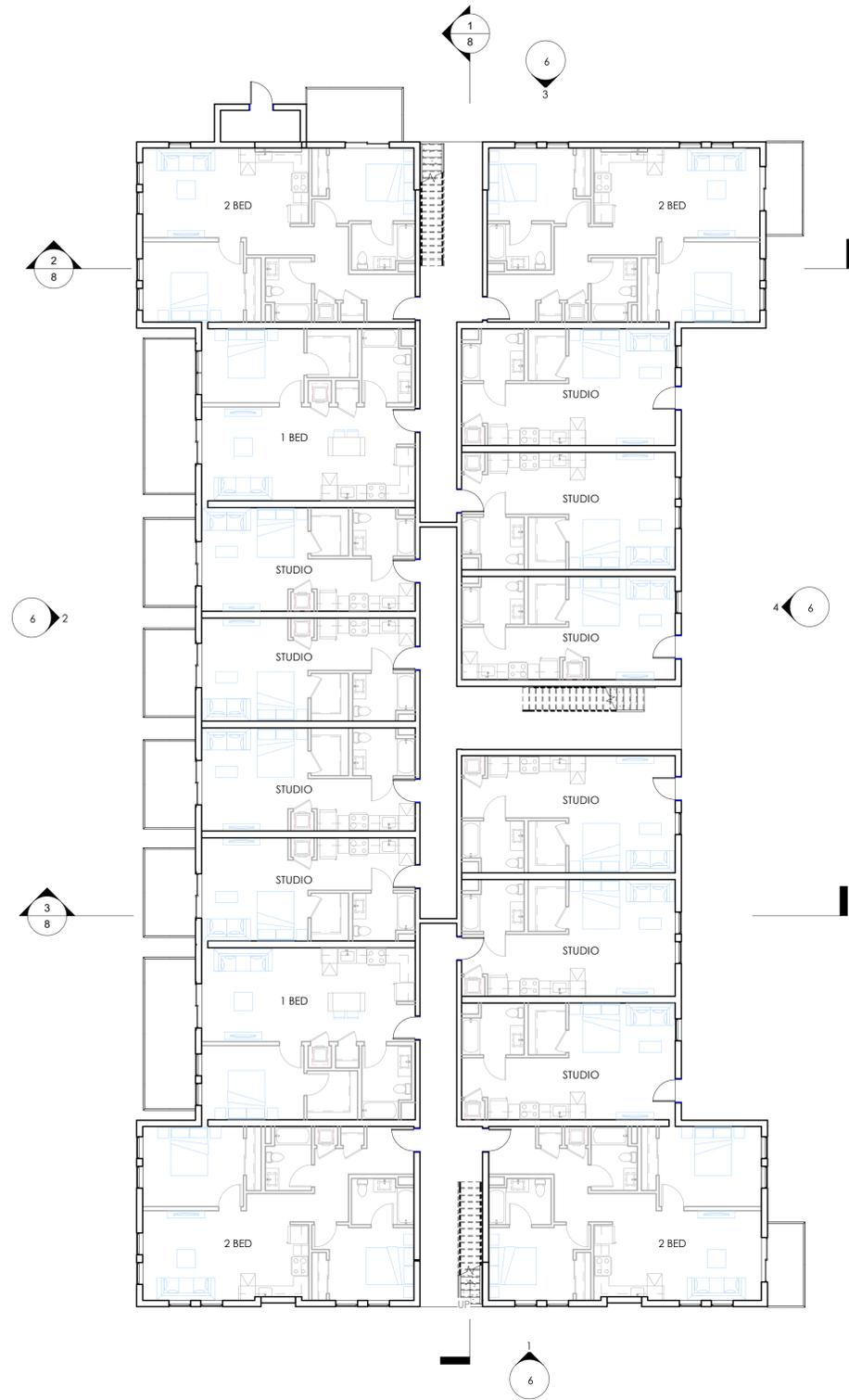
TYPE	PERCENTAGE	REQUIRED	PROVIDED
EV CAPABLE	10% OF TOTAL SPACES	4	4
EV READY	25% OF TOTAL SPACES	10	10
EV CHARGERS (EVCS)	5% OF TOTAL SPACES	2	2

NOTE:  
 - EV CAPABLE: CONDUIT ONLY  
 - EV READY: 208V OUTLET CHARGING PEDESTAL

BUILDING SUMMARY

01/10/2024

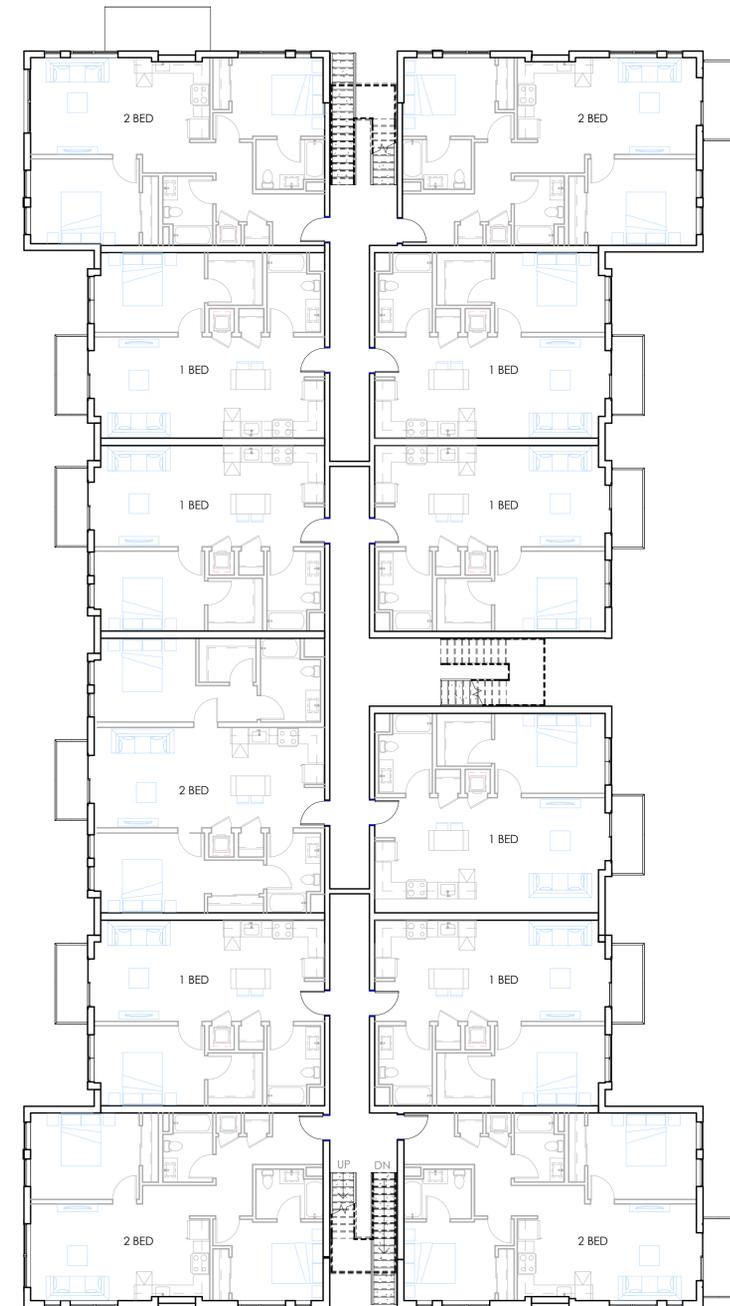
23030



LEVEL 1

3/32" = 1'-0"

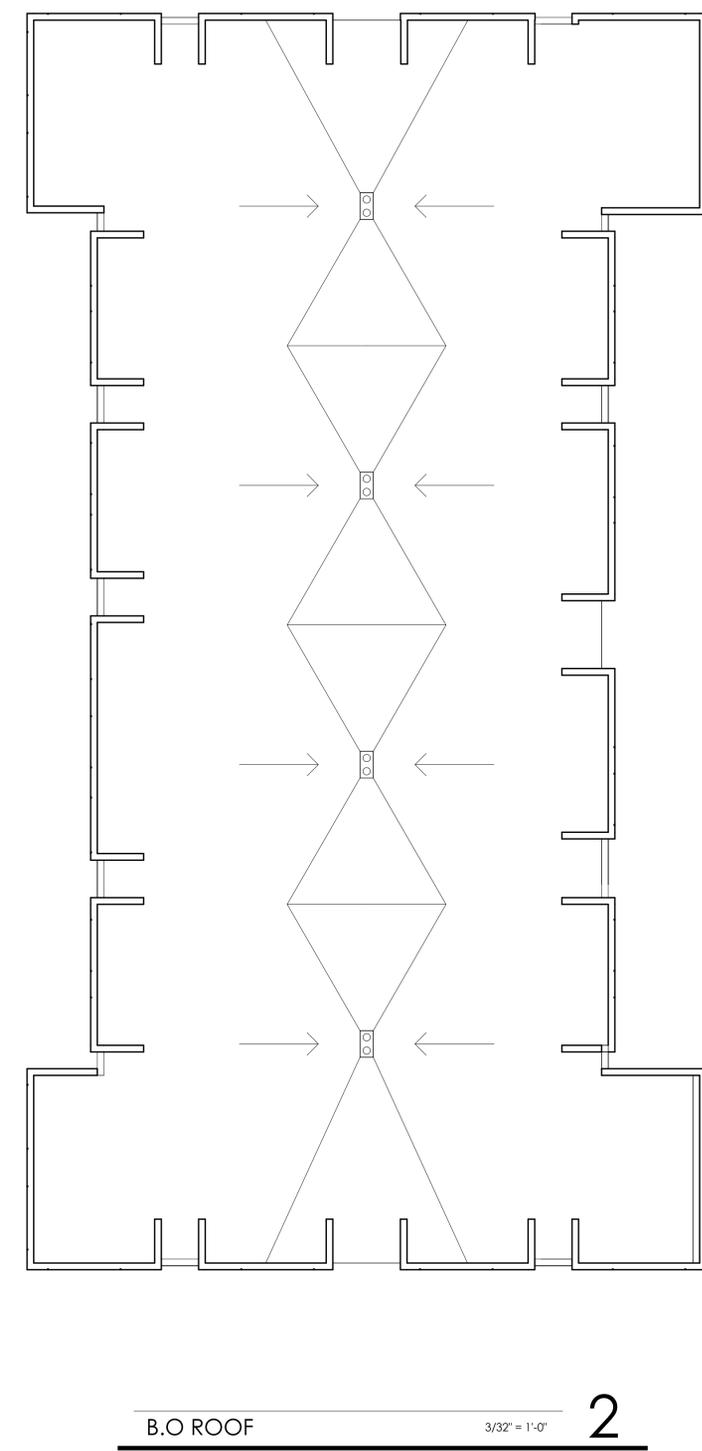
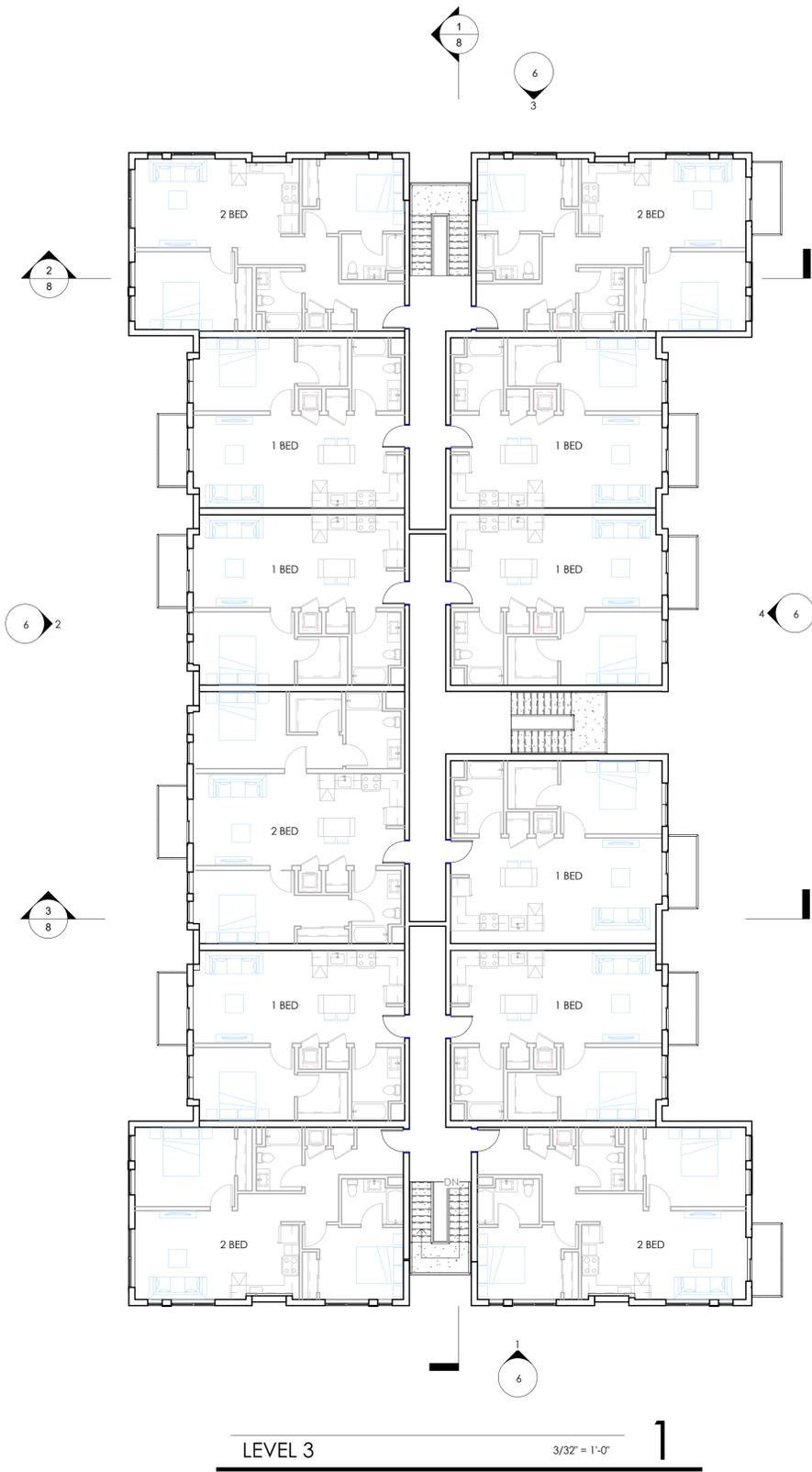
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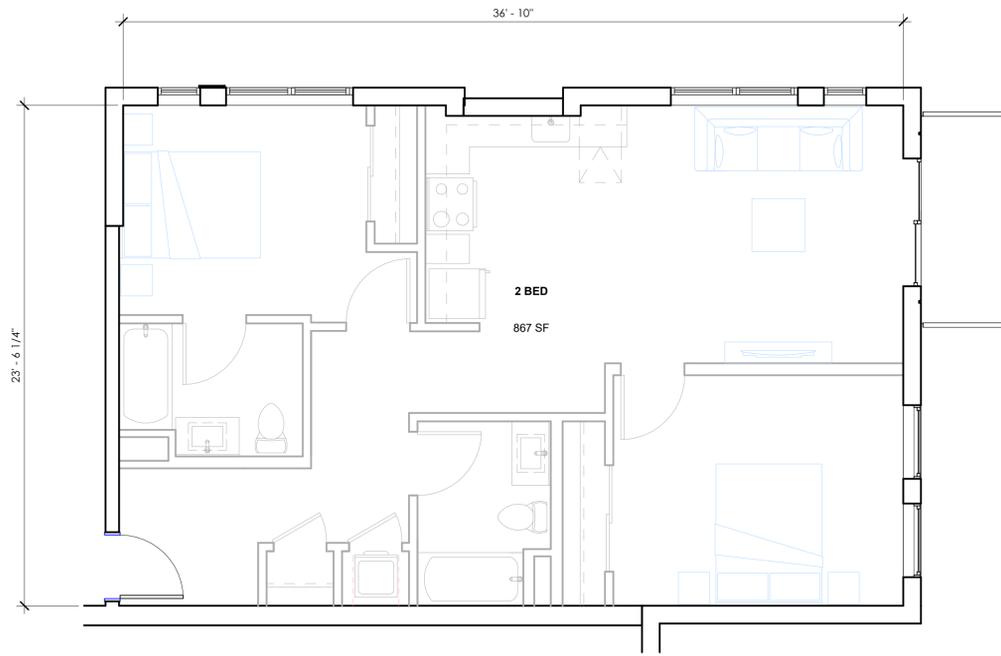


LEVEL 2

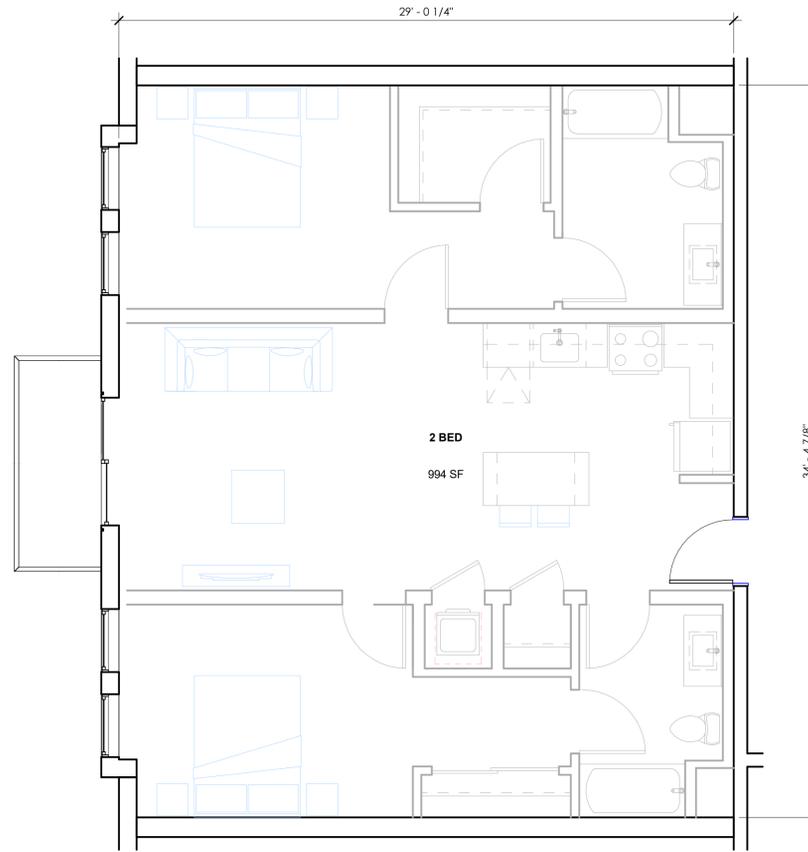
3/32" = 1'-0"

1

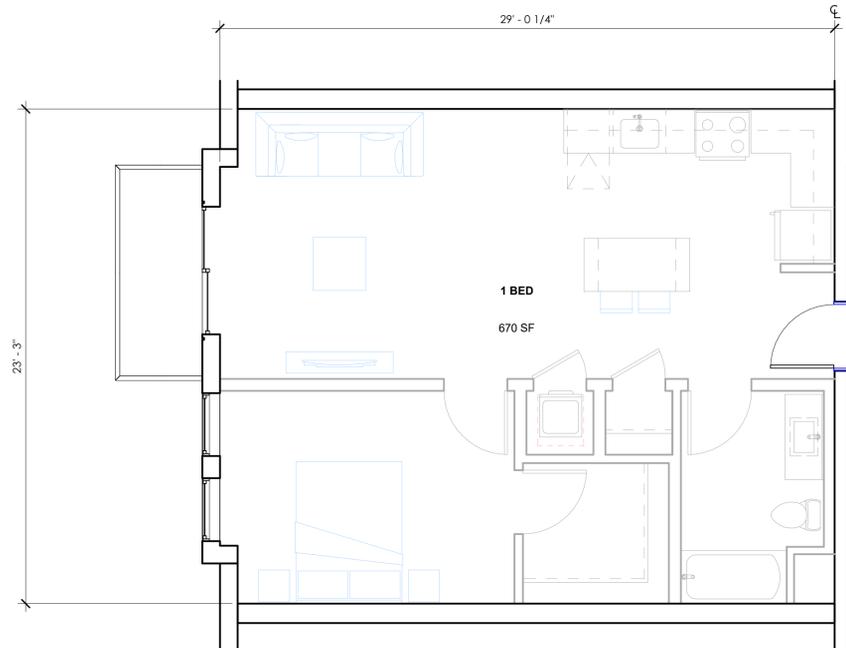




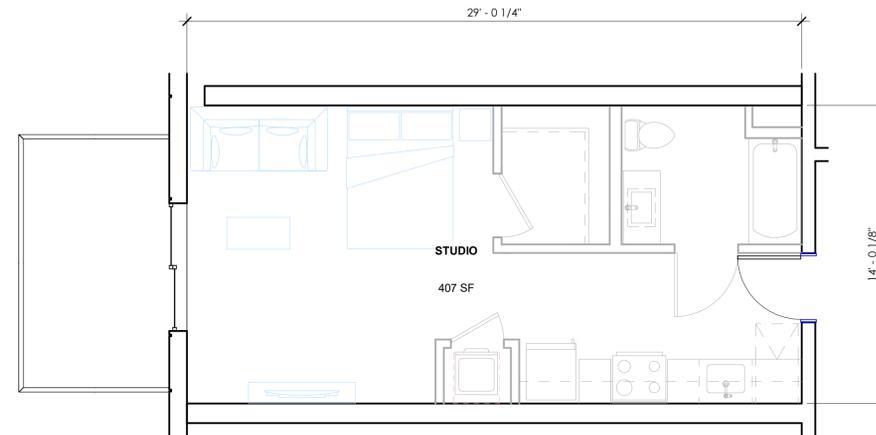
2 BED - B 1/4" = 1'-0" 4



2 BED - A 1/4" = 1'-0" 3



1 BED 1/4" = 1'-0" 2



STUDIO 1/4" = 1'-0" 1



EAST ELEVATION

3/32" = 1'-0"

4



NORTH ELEVATION

3/32" = 1'-0"

3



WEST ELEVATION

3/32" = 1'-0"

2



SOUTH ELEVATION

3/32" = 1'-0"

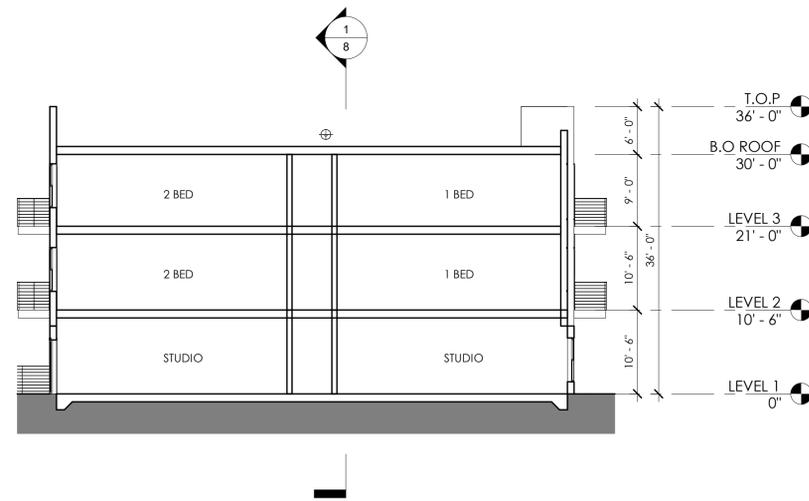
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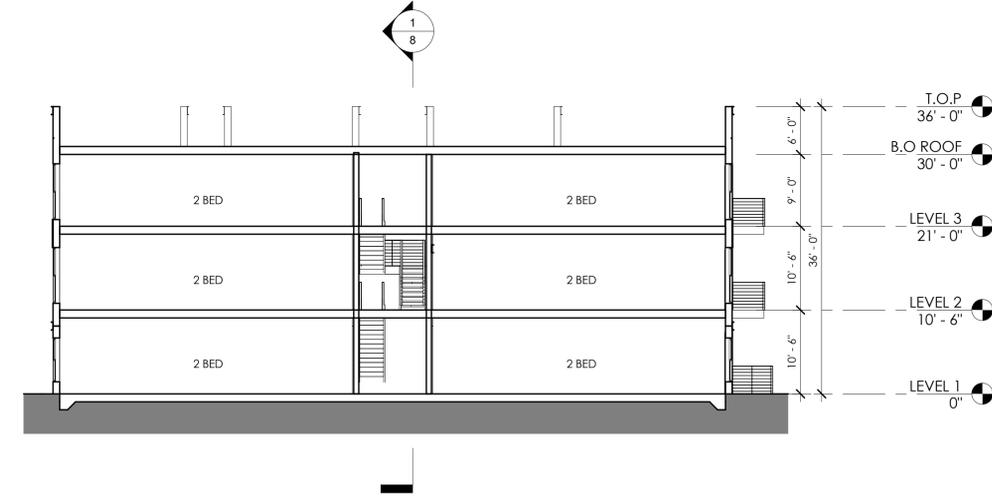
REAR PERSPECTIVE 2



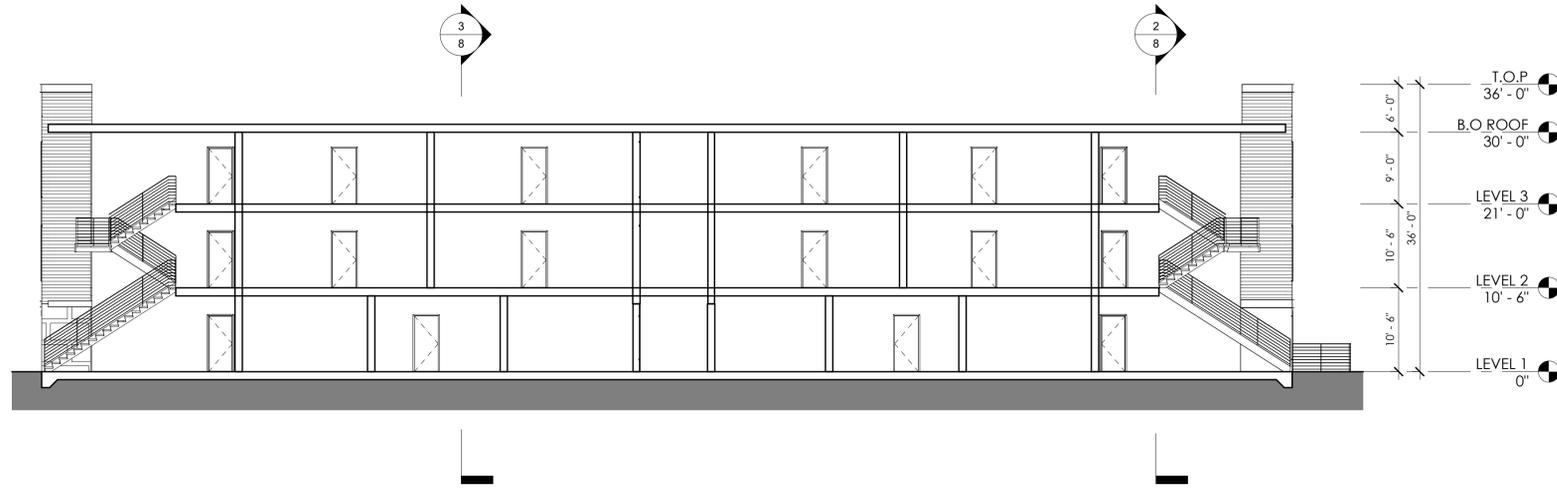
ENTRY PERSPECTIVE 2 1



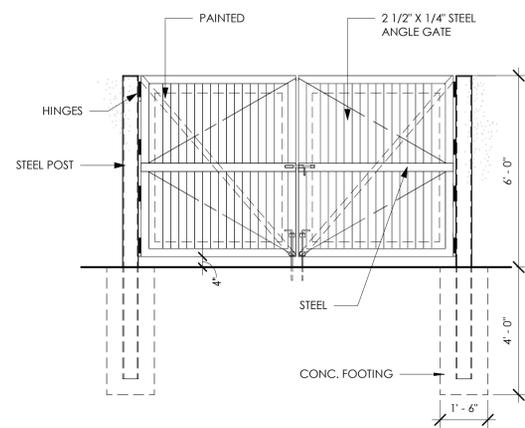
BUILDING SECTION 3 3/32" = 1'-0" 3



BUILDING SECTION 2 3/32" = 1'-0" 2



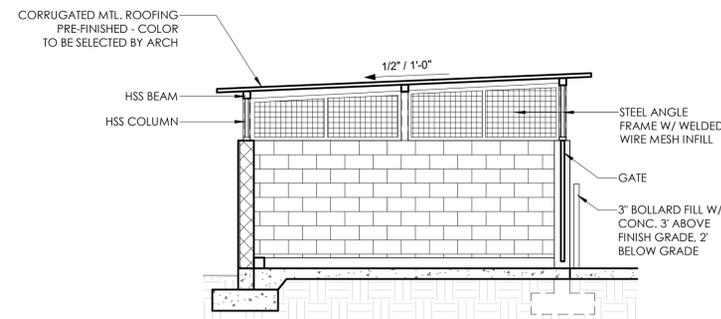
BUILDING SECTION 1 3/32" = 1'-0" 1



GATE ELEVATION

3/8" = 1'-0"

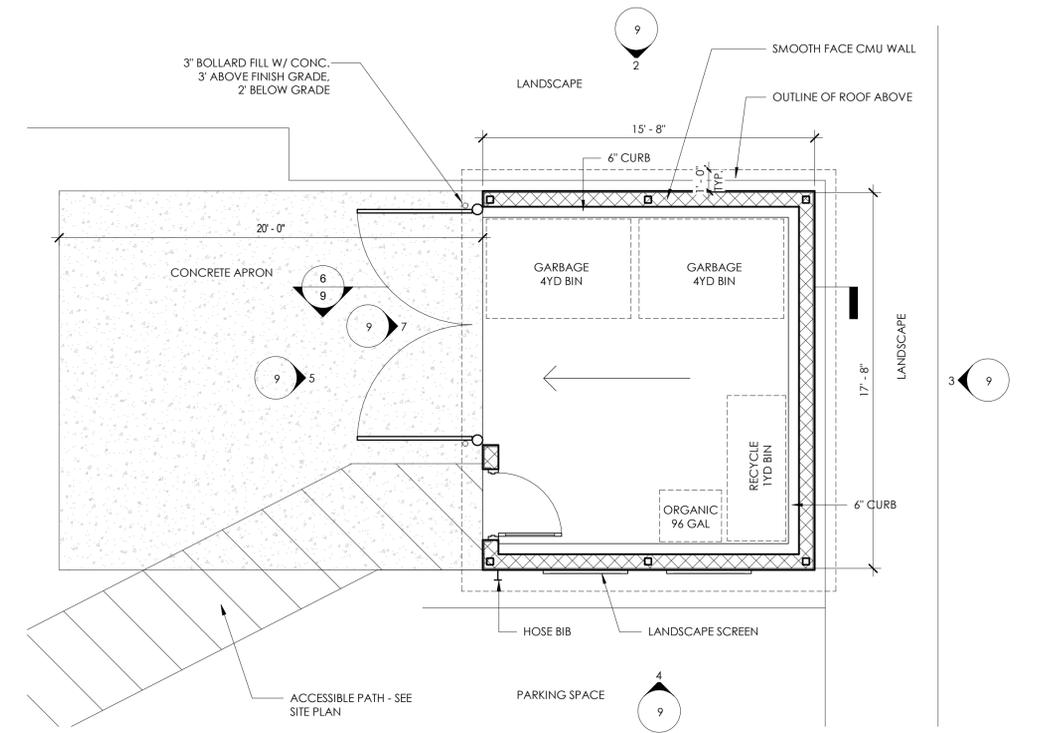
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SECTION

1/4" = 1'-0"

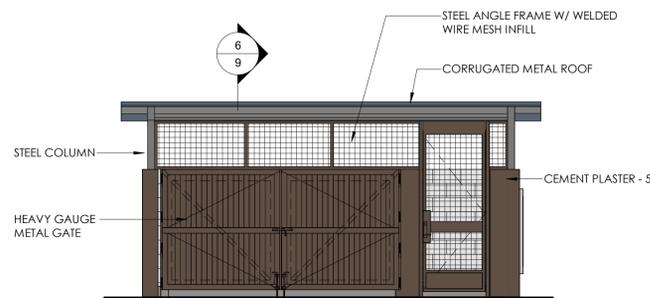
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ENLARGED TRASH ENCLOSURE

1/4" = 1'-0"

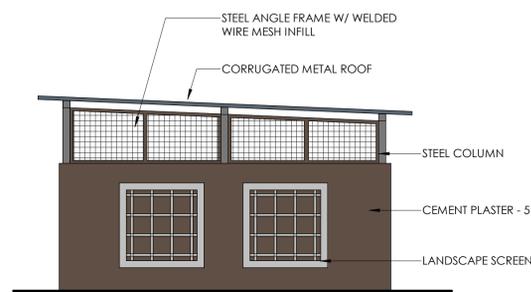
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TRASH ENCLOSURE

1/4" = 1'-0"

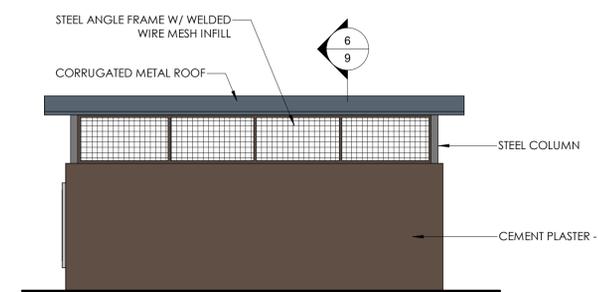
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TRASH ENCLOSURE

1/4" = 1'-0"

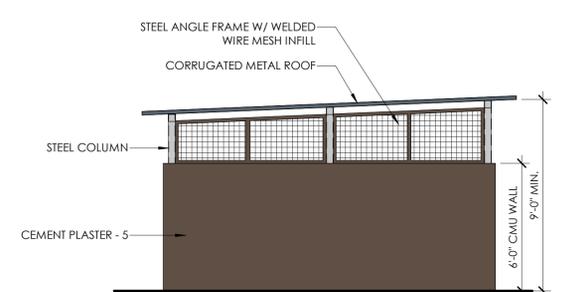
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TRASH ENCLOSURE

1/4" = 1'-0"

3

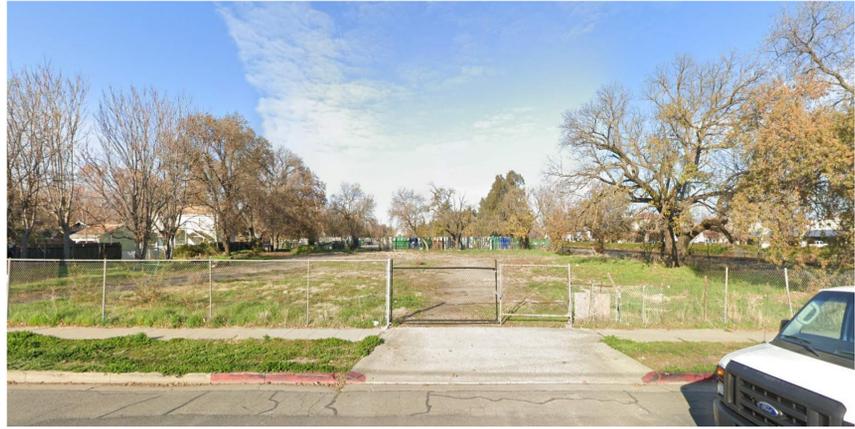


TRASH ENCLOSURE

1/4" = 1'-0"

2

# SITE CONTEXT



1- NORTH VIEW FROM BEAMER STREET



2- NORTHWEST VIEW CORNER OF BEAMER STREET AND NORTHEAST STREET



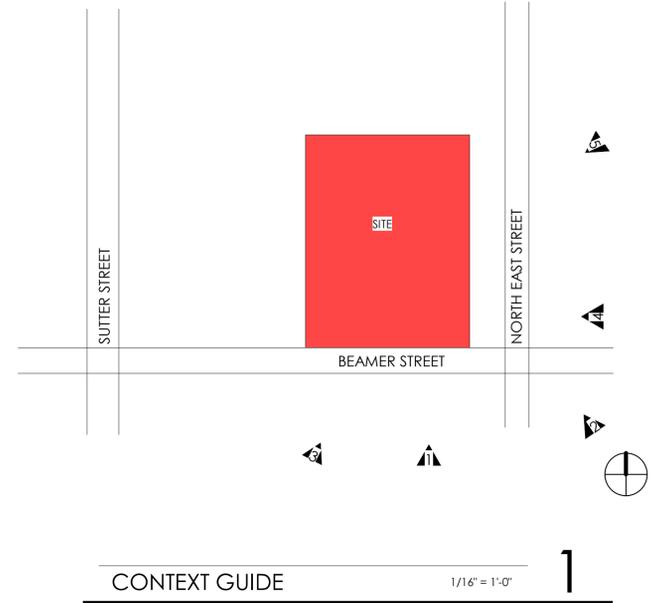
3- NORTHEAST VIEW CORNER OF SUTTER STREET AND BEAMER STREET



4- WEST VIEW FROM NORTH EAST STREET



5- SOUTHEAST VIEW FROM NORTH EAST STREET



# MATERIAL BOARD



CEMENT PLASTER - 1



CEMENT PLASTER - 2



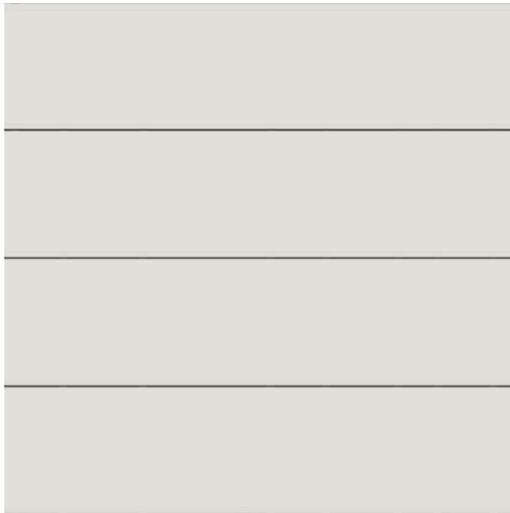
CEMENT PLASTER - 3



CEMENT PLASTER - 4



CEMENT PLASTER - 5



CEMENT BOARD SIDING - 1



CEMENT BOARD SIDING - 2



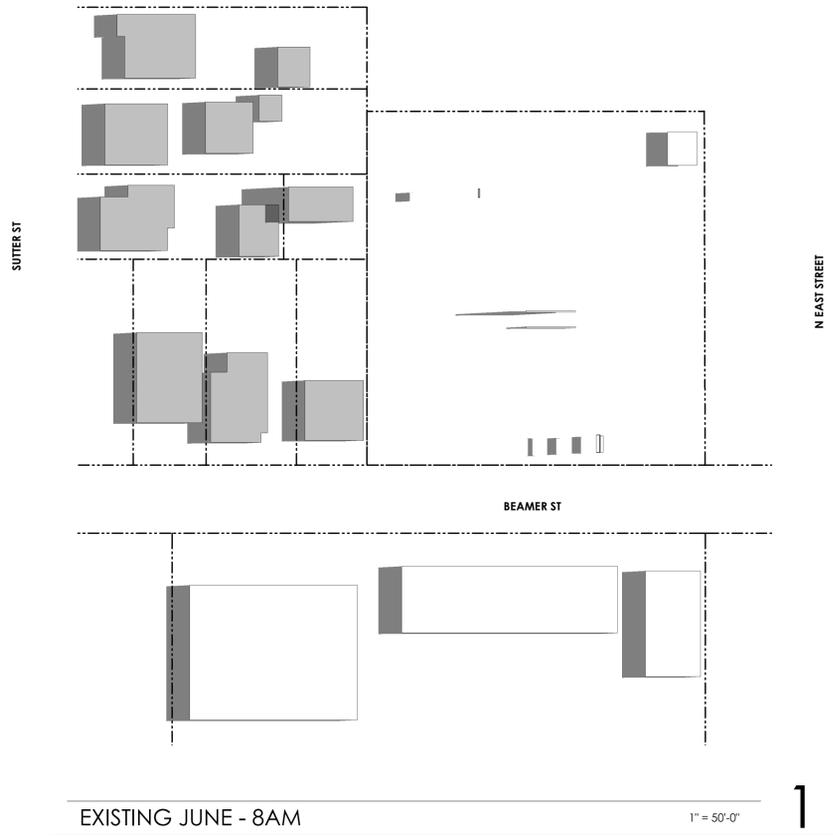
WOOD SIDING - 3



THIN BRICK VENEER



VERTICAL BIKE RACK



EXISTING JUNE - 8AM

1" = 50'-0"

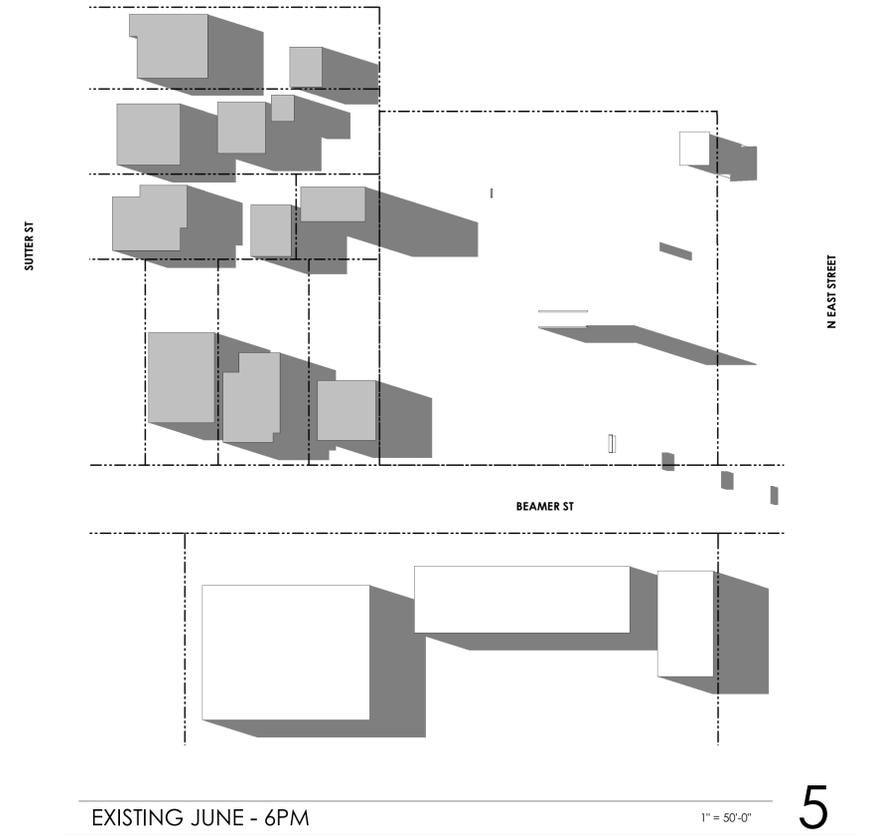
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EXISTING JUNE - 12PM

1" = 50'-0"

3



EXISTING JUNE - 6PM

1" = 50'-0"

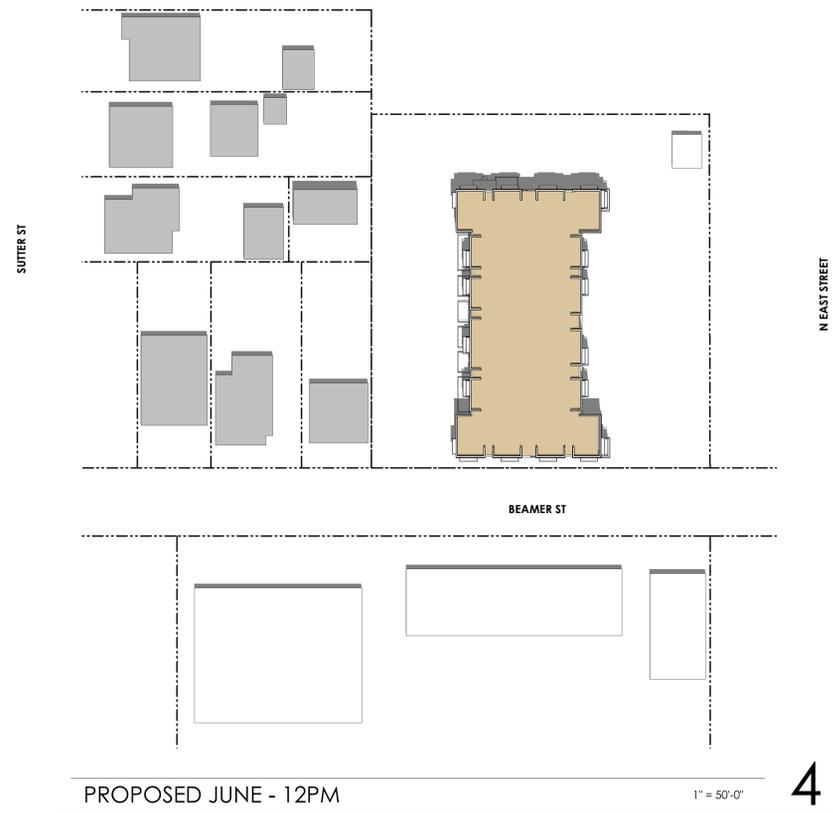
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PROPOSED JUNE - 8AM

1" = 50'-0"

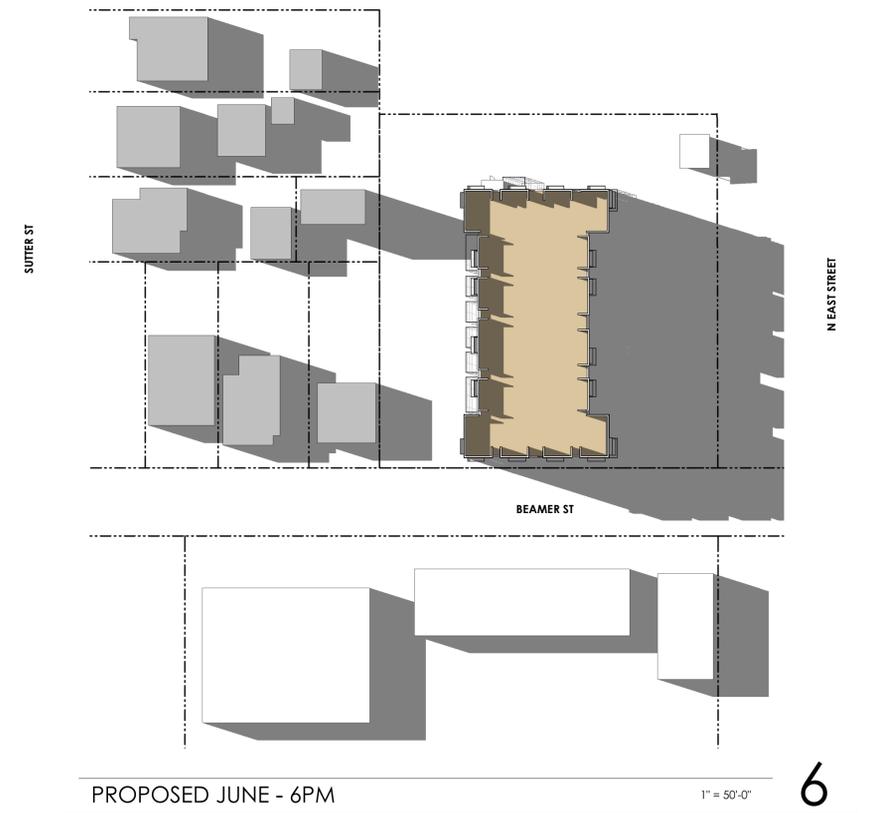
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PROPOSED JUNE - 12PM

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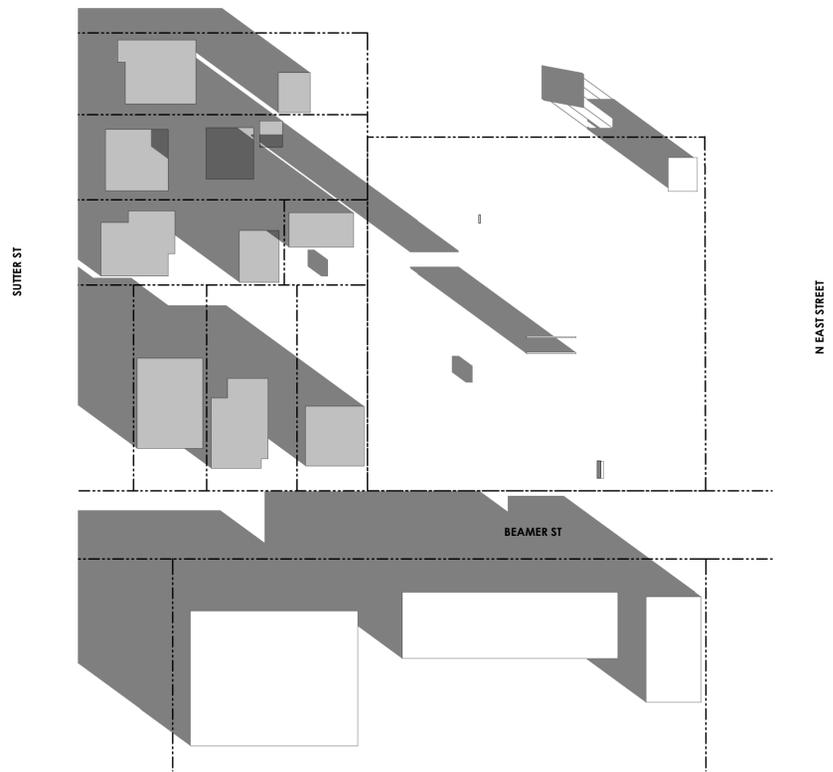
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PROPOSED JUNE - 6PM

1" = 50'-0"

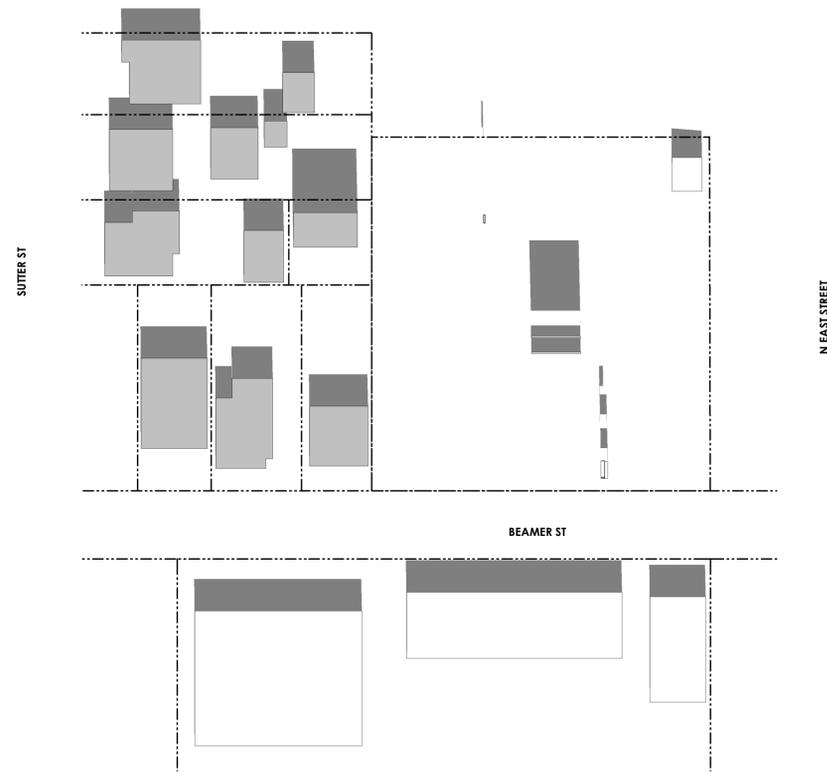
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EXISTING DEC - 8AM

1" = 50'-0"

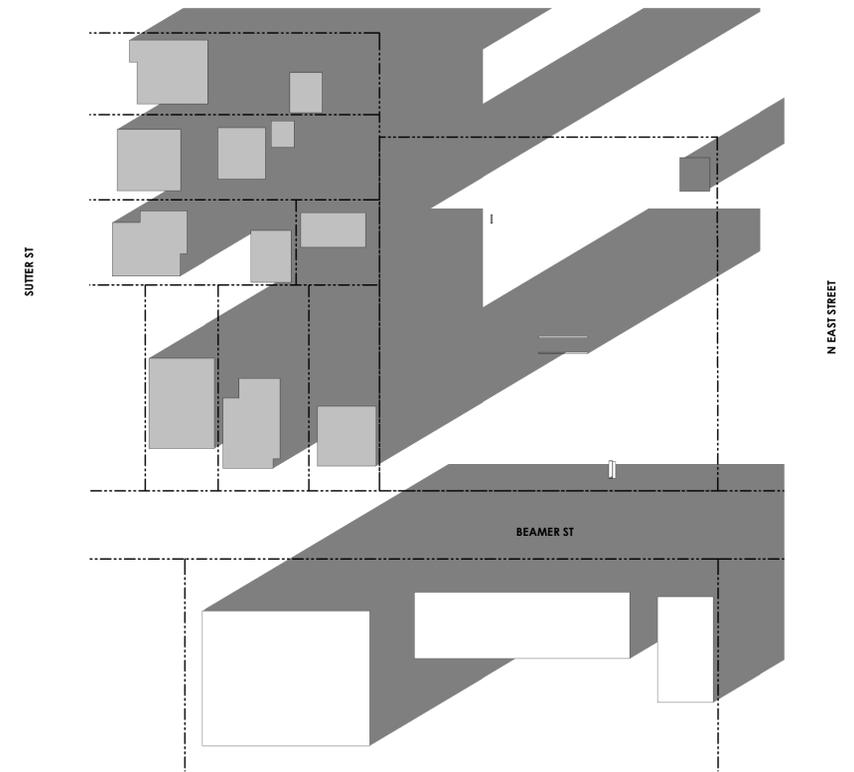
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EXISTING DEC - 12PM

1" = 50'-0"

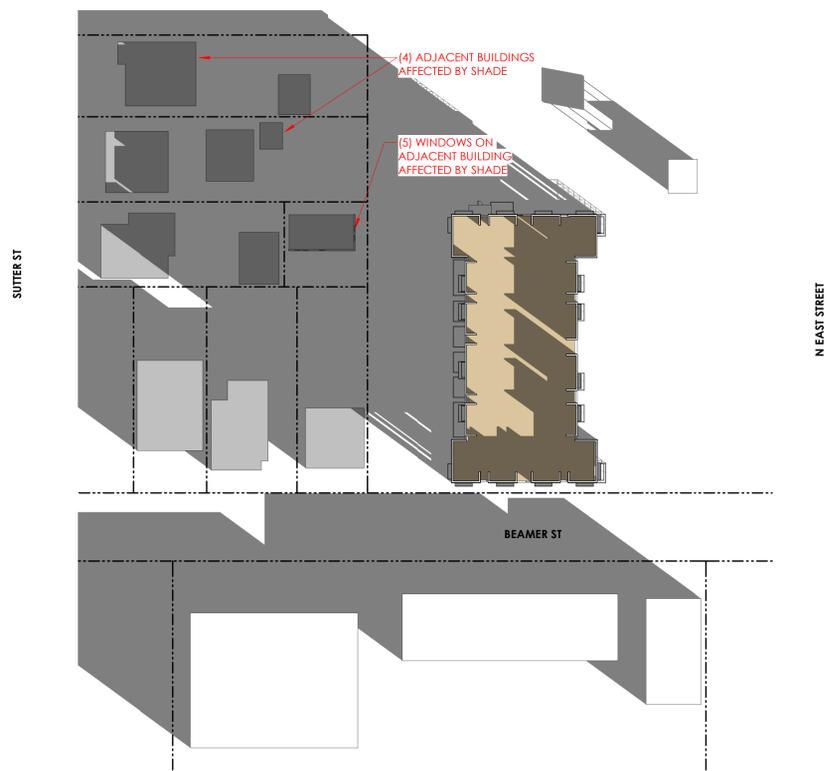
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EXISTING DEC - 6PM

1" = 50'-0"

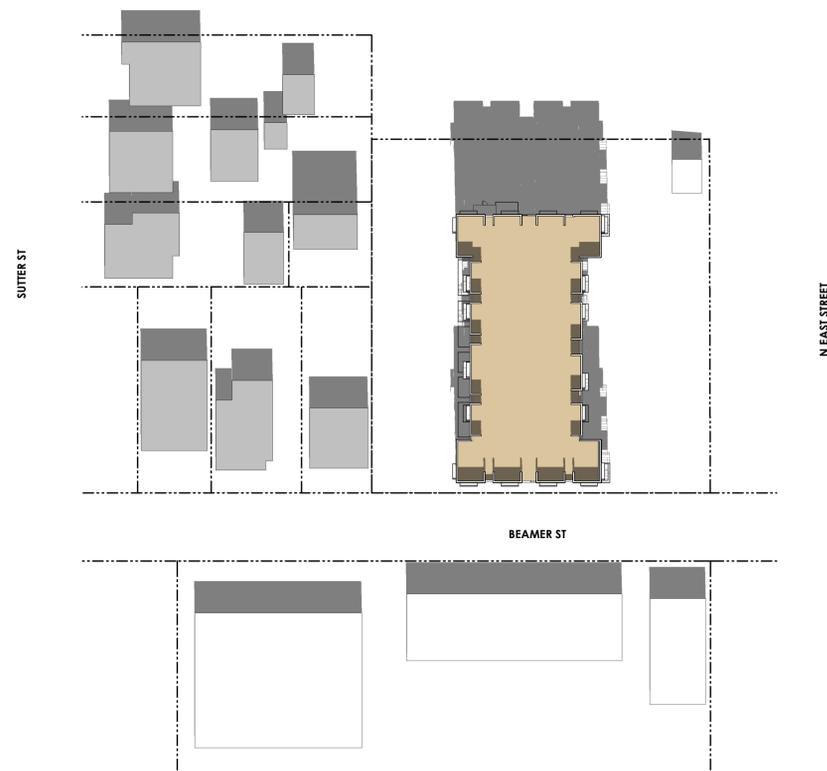
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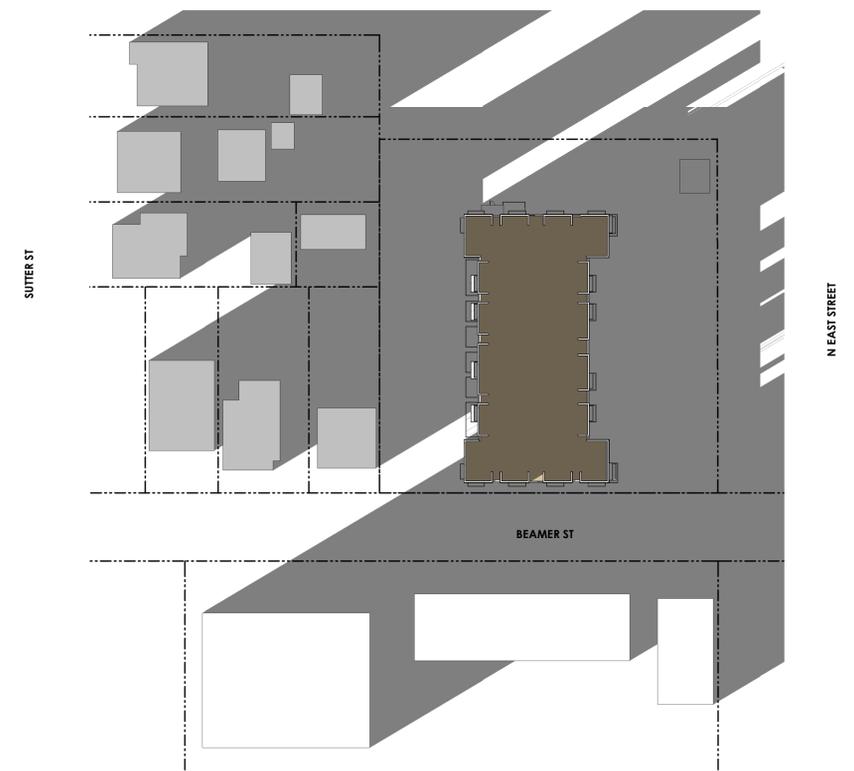
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PROPOSED DEC - 12PM

1" = 50'-0"

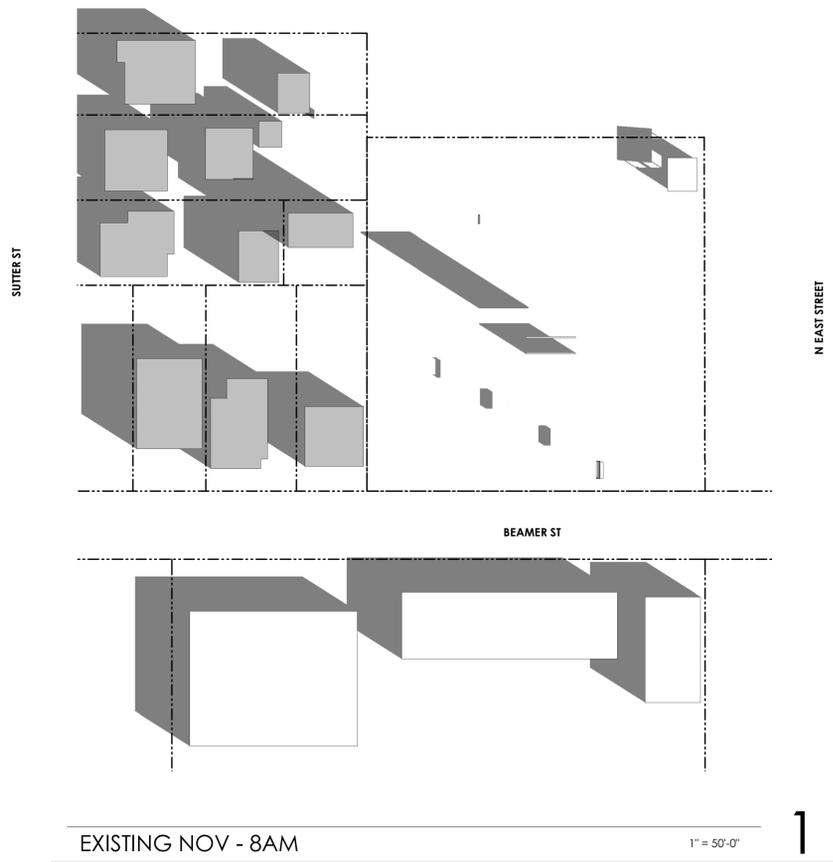
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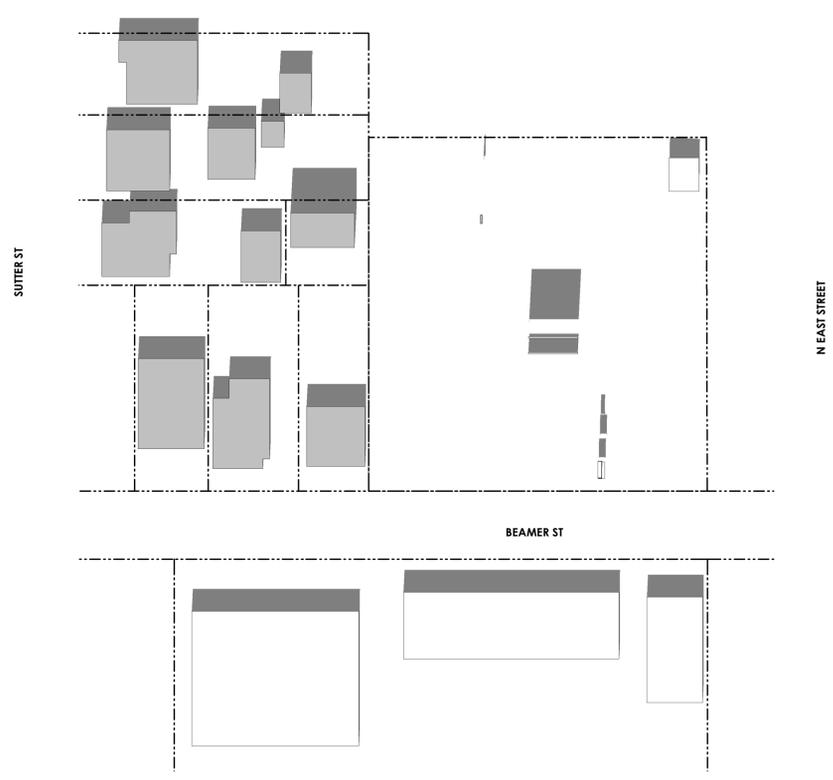
PROPOSED DEC - 6PM

1" = 50'-0"

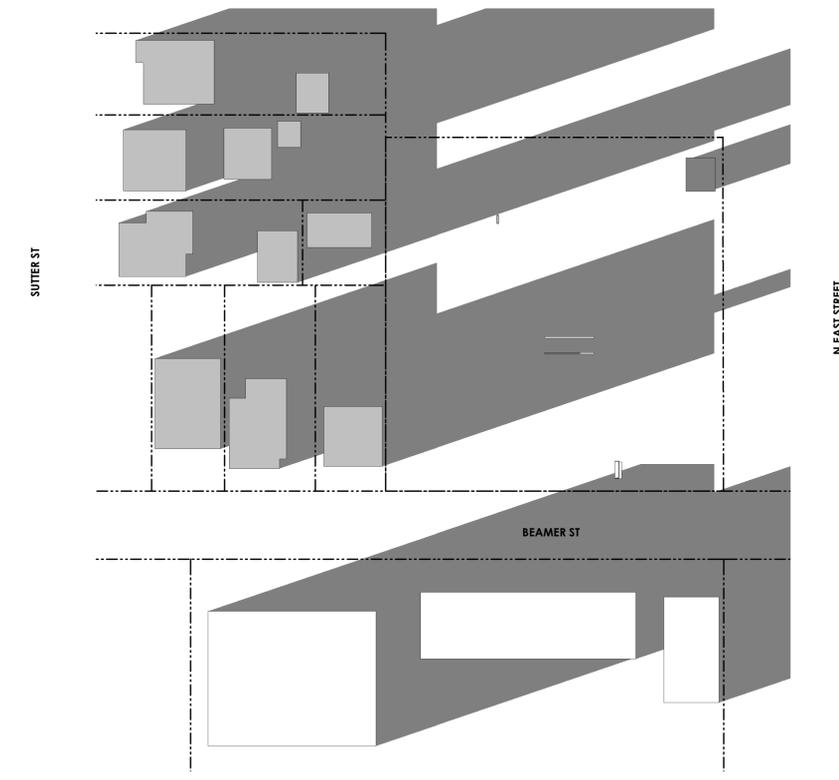
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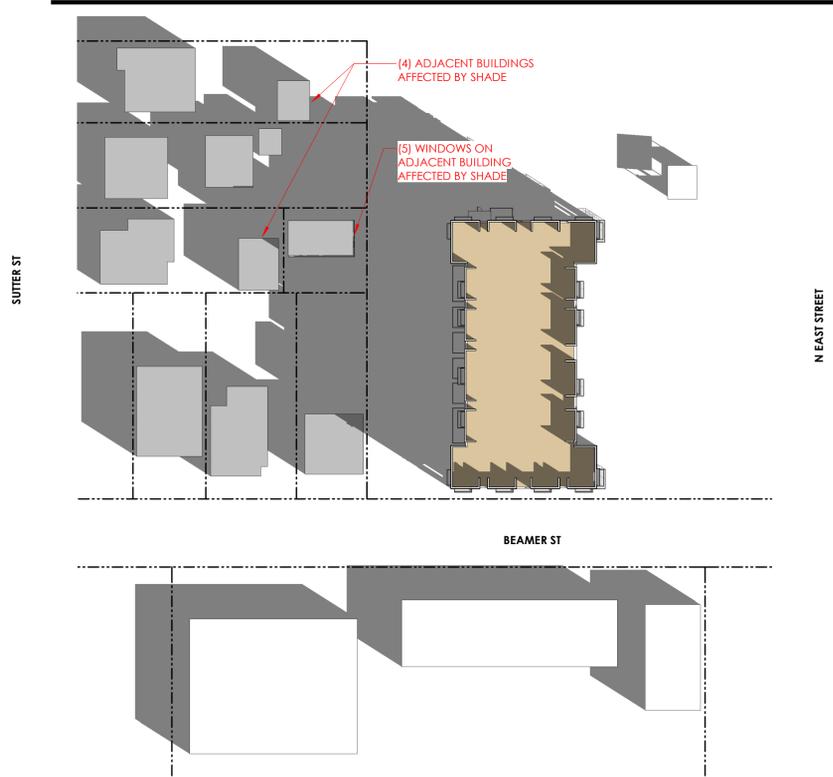
EXISTING NOV - 8AM 1" = 50'-0" 1



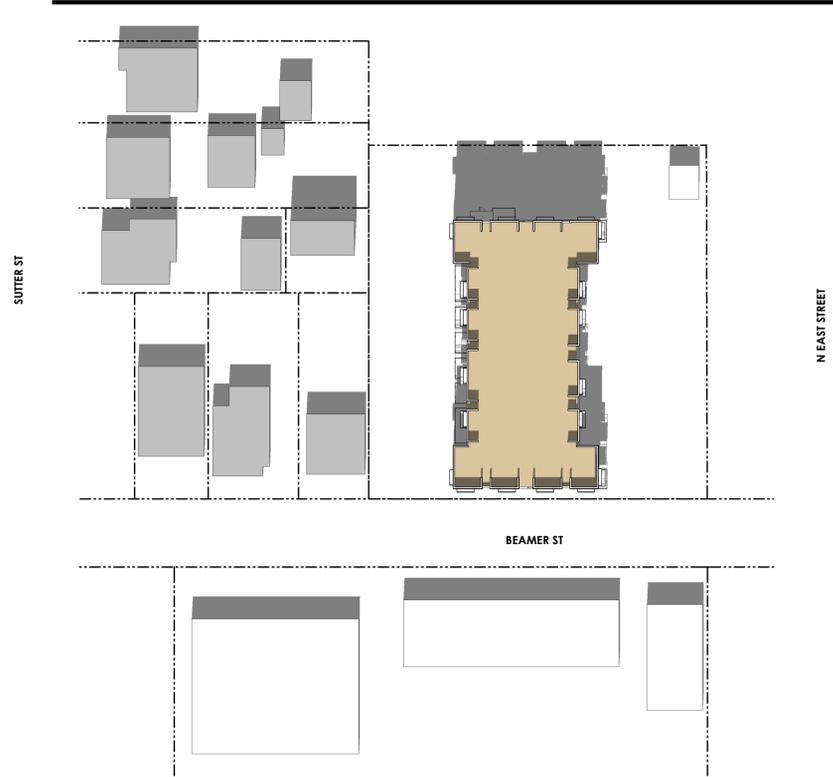
EXISTING NOV - 12PM 1" = 50'-0" 3



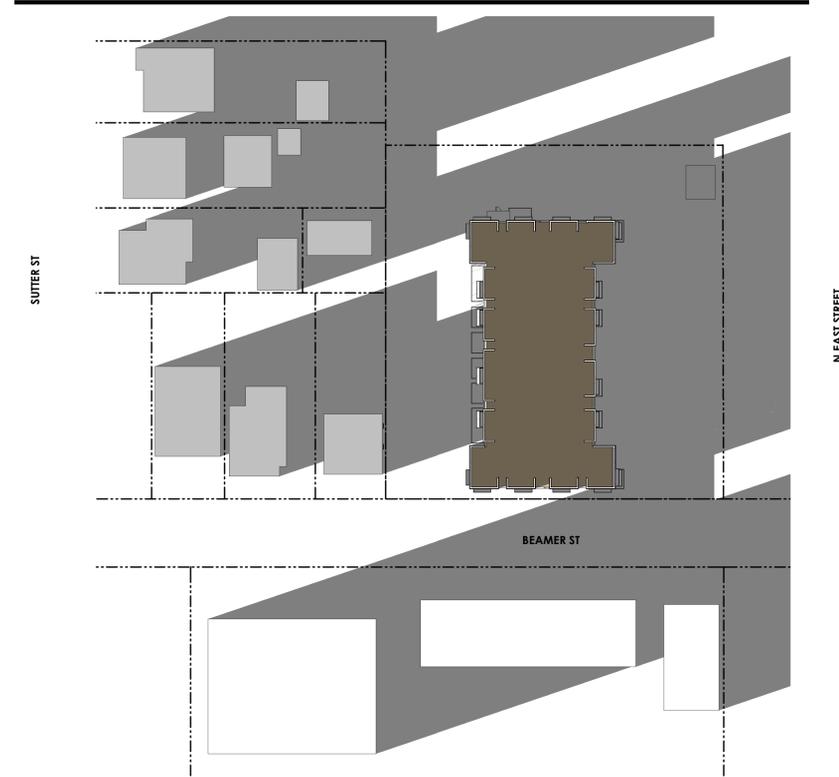
EXISTING NOV - 6PM 1" = 50'-0" 5



PROPOSED NOV - 8AM 1" = 50'-0" 2



PROPOSED NOV - 12PM 1" = 50'-0" 4

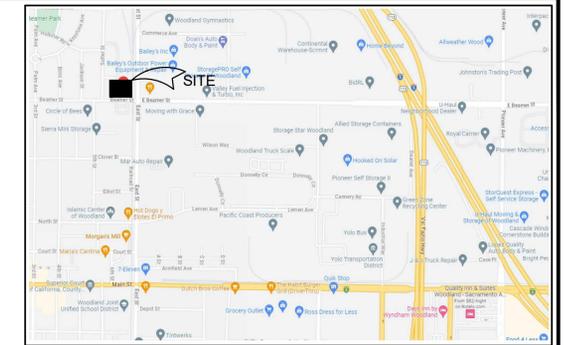


PROPOSED NOV - 6PM 1" = 50'-0" 6

# SURVEY NOTES:

- 1) A PRELIMINARY TITLE REPORT WAS PROVIDED FOR THE PREPARATION OF THIS SURVEY BY CHICAGO TITLE COMPANY, TITLE NO. FSJP-3162300201-CC DATED 06/02/23
- 2) THE POSITION OF IDENTIFIED RECORD EASEMENTS HAVE BEEN PLOTTED USING RECORD DESCRIPTIONS. SURFACE FACILITIES HAVE BEEN PLOTTED USING FIELD INFORMATION. THE ACTUAL LOCATIONS OF UNDERGROUND FACILITIES SHOULD BE VERIFIED PRIOR TO ANY NEW CONSTRUCTIONS.
- 3) THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN HEREON IS FROM RECORD AS DEPICTED ON A RECORD OF SURVEY OF "WOODLAND DISTRIBUTING STATION TIDE WATER ASSOCIATED OIL CO.", FILED IN YOLO COUNTY MAPS AND SURVEYS, BOOK 5 AT PAGE 41, AND WAS LOCATED USING CENTERLINE OF BEAMER STREET AND ONE ONSITE MONUMENT AS SHOWN.
- 4) THE TYPES, LOCATION, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. INTERESTED PARTIES ARE CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. JTS ENGINEERING CONSULTANTS, INC. ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. PRESCRIPTIVE EASEMENTS MAY EXIST OVER THOSE FACILITIES WHICH ARE NOT WITHIN THE RECORD EASEMENT.
- 5) NO MONUMENTS WERE SET AS A PART OF THIS SURVEY.
- 6) NO ARBORIST REPORT WAS PROVIDED FOR THE PREPARATION OF THIS SURVEY.

UTILITY CONTACTS		
TELEPHONE	AT&T	(916) 972-2142
GAS	PG&E	(916) 386-5135
ELECTRICITY	PG&E	(916) 386-5135
WATER	CITY OF WOODLAND UTILITY INFR.	(530) 661-5813
CABLE	COMCAST	(800) 830-6722
DRAINAGE	CITY OF WOODLAND UTILITY INFR.	(530) 661-5813
SEWER	CITY OF WOODLAND UTILITY INFR.	(530) 661-5813
FIRE	WOODLAND FIRE DEPT	(530) 661-5860
UNDERGROUND SERVICE ALERT	UNDERGROUND SERVICE ALERT	(800) 227-2600



VICINITY MAP  
NO SCALE

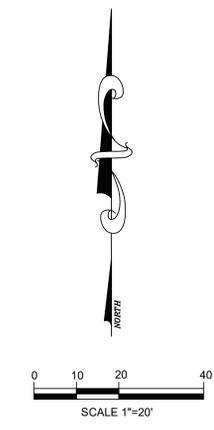
SHEET INDEX	
C1	EXISTING CONDITIONS AND DEMOLITION PLAN
C2	PRELIMINARY GRADING AND DRAINAGE PLAN
C3	PRELIMINARY UTILITY PLAN

## LEGEND

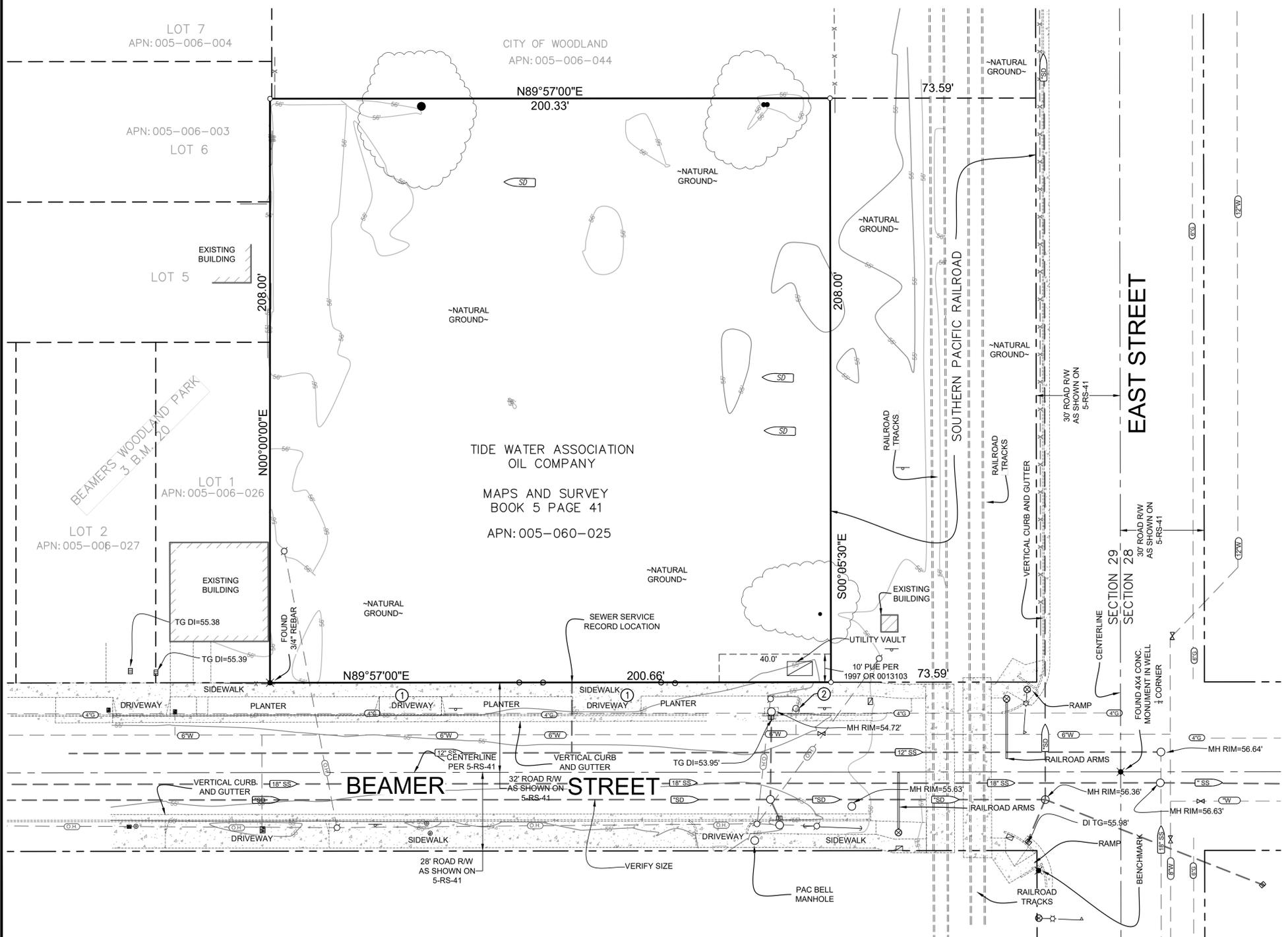
### DEMOLITION CALLOUTS

- 1 REMOVE EXISTING DRIVEWAY
- 2 REMOVE EXISTING FIRE HYDRANT. SEE SHEET C3 FOR REPLACEMENT.

MANHOLE	
DRAIN INLET	
WATER LINE	
DRAIN LINE	
SEWER LINE	
GAS LINE	
FIRE HYDRANT	
WATER VALVE	
SEWER CLEAN OUT	
WATER METER	
FIRE DEPT. CONNECTION	
EDGE OF PAVEMENT	
BACK FLOW PREVENTER	
CONCRETE CURB	
SPOT ELEVATION	
TRAFFIC SIGNAL	
TRAFFIC SIGNAL WITH LIGHT	
PARKING LIGHT	
PULL BOX	
GAS VALVE	
UTILITY POLE	
GAS METER	
OVER HEAD WIRE	
UTILITY POLE W/GUY	
PUBLIC STREET LIGHT	
SIGN	
FENCE	
WALL	
GUARD POST	
TREE	
VAULT	
TRANSFORMER	
RAIN WATER LEADER	
TELEPHONE LINE	
ELECTRICAL LINE	
U.G. CABLE LINE	
RIDGE LINE	
SLOPE BANK	
PROPERTY LINE	
RIGHT OF WAY LINE	
ADJACENT PROPERTY LINE	
ROAD CENTERLINE	
EASEMENT	
DIMENSION POINT	
FOUND MONUMENT AS SHOWN	



CONTOUR INTERVALS: 1' MINOR / 5' MAJOR



BENCHMARK ELEVATION: 56.297 NAVD88  
2" BRASS DISC IN MONUMENT WELL STAMPED CITY OF WOODLAND CONTROL L-16 AT SW CORNER OF BEAMER STREET AND EAST STREET

**JTS ENGINEERING CONSULTANTS, INC.**  
1808 J STREET  
SACRAMENTO, CALIFORNIA 95811 TEL: (916) 441-6708

DESIGNED:	MAD	SCALE:	
DRAWN:	MAD	H:	1"=20'
CHECKED:	JTS	V:	
SUBMITTED:	JAVED T. SIDDIQUI	RCE:	25924

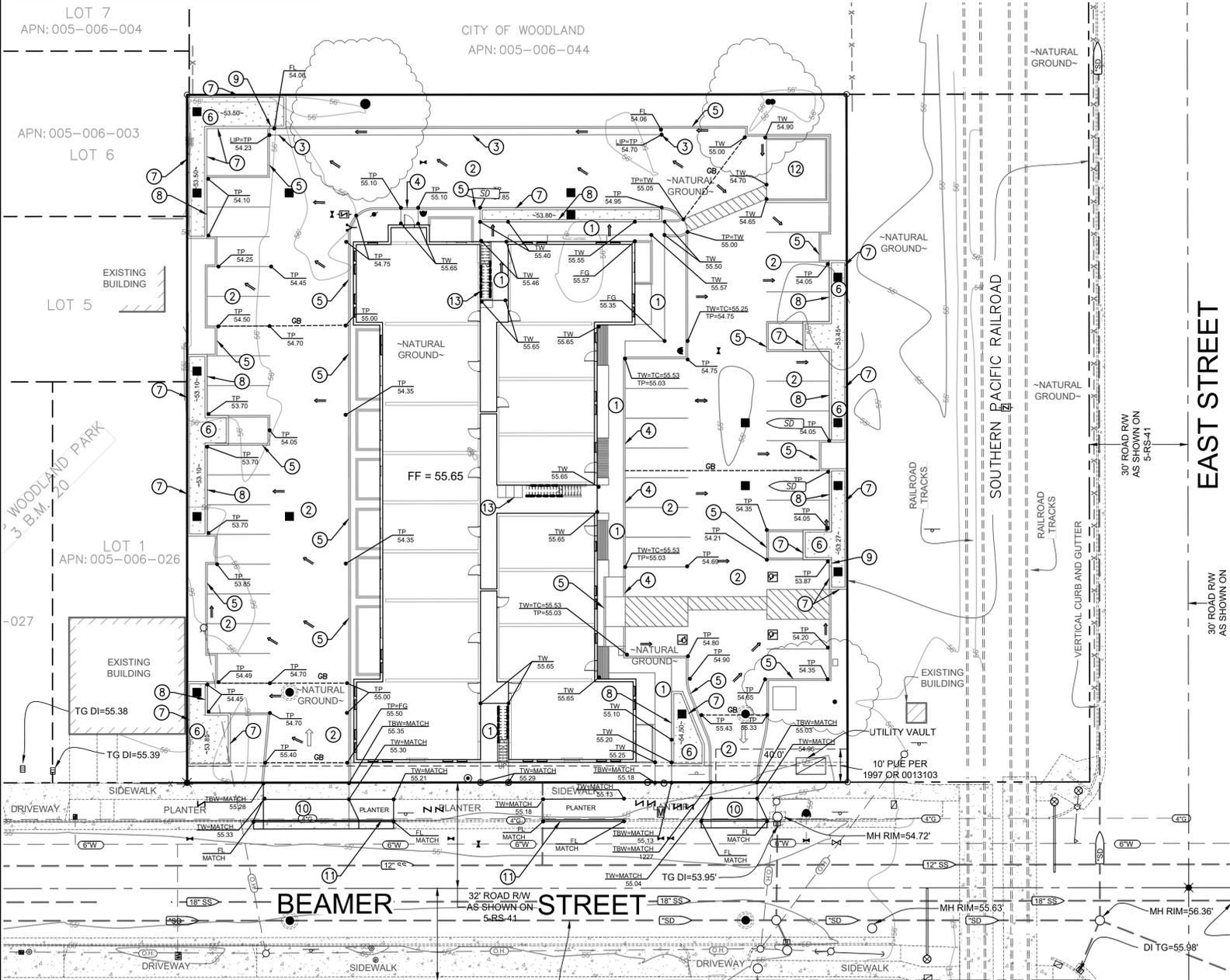


NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

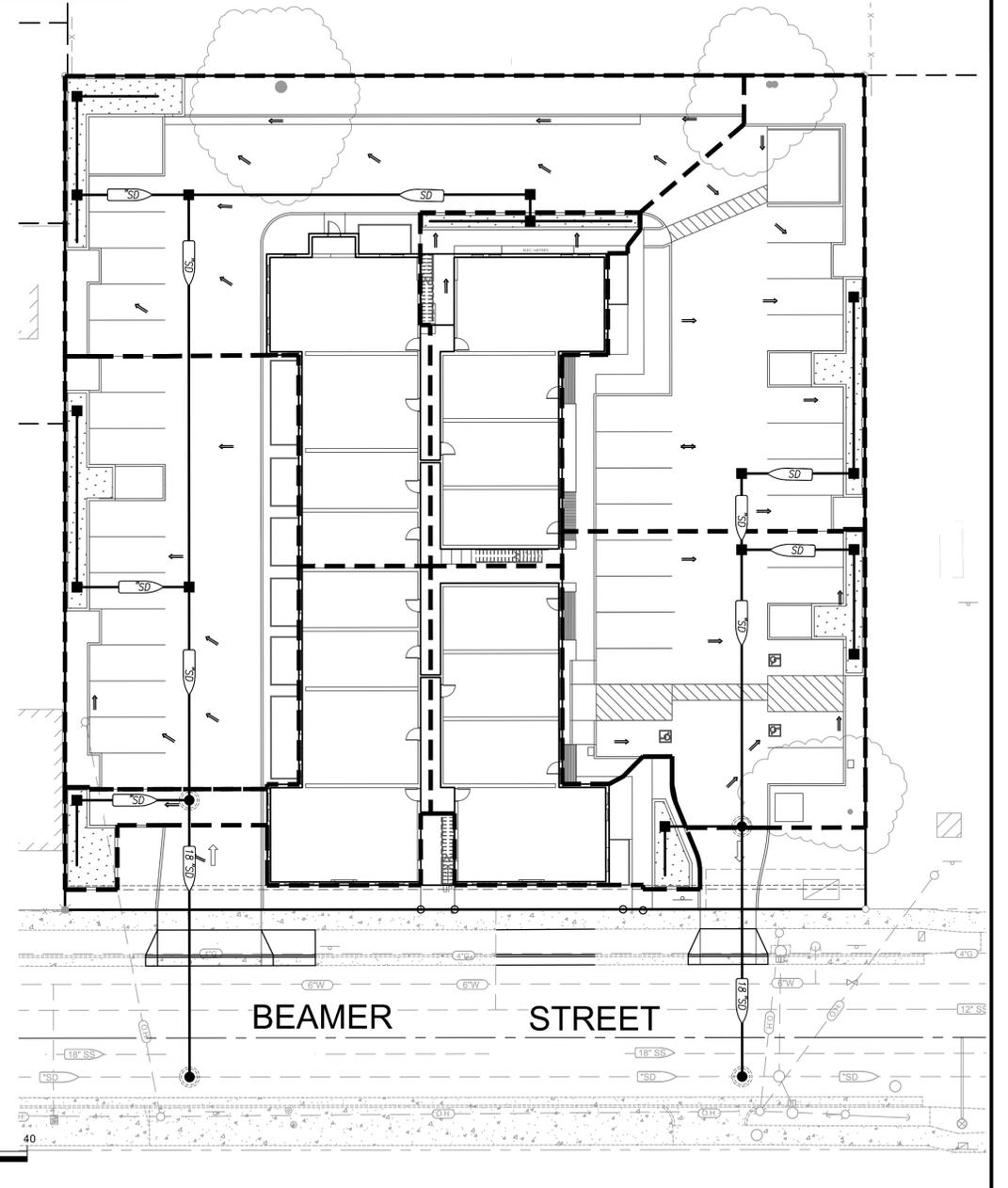
EXISTING CONDITIONS AND DEMOLITION PLAN  
**1021 BEAMER STREET, WOODLAND**  
COUNTY OF YOLO APN:005-060-025 CALIFORNIA

DATE: 01/10/2024  
SHEET  
**C1**  
OF 3

**GRADING AND DRAINAGE PLAN**



**DRAINAGE SHEDS**



**CONSTRUCTION CALLOUTS**

- 1 PLACE PCC SIDEWALK.
- 2 PLACE AC PAVEMENT OVER AB COMPACTED TO A MINIMUM 95% COMPACTION.
- 3 PLACE CURB AND GUTTER.
- 4 PLACE VERTICAL CURB AT SIDEWALK.
- 5 PLACE VERTICAL CURB.
- 6 PLACE BIORETENTION PLANTER PER DETAIL 1 ON THIS SHEET.
- 7 SEE WALL PLANS FOR CONSTRUCTION OF RETAINING WALLS.
- 8 SEE WALL PLANS FOR CONSTRUCTION OF RETAINING WALLS WITH SAW TOOTHED CUT TOP PER DETAIL 2 ON THIS SHEET.
- 9 2' GAP TO ALLOW DRAINAGE.
- 10 PLACE DRIVEWAY PER CITY OF WOODLAND STANDARD DRAWING 0332.
- 11 PLACE VERTICAL CURB AND GUTTER PER CITY OF WOODLAND STANDARD DRAWING 0315
- 12 SEE BUILDING PLANS FOR TRASH ENCLOSURE
- 13 SEE BUILDING PLANS FOR BIKE PARKING

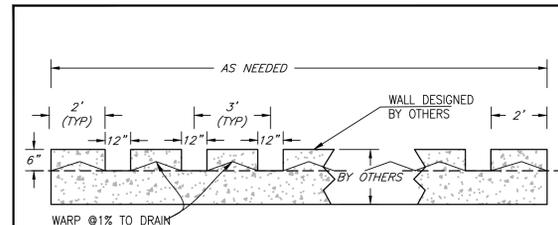
**CONSTRUCTION NOTES:**

1. ALL ACCESSIBLE WALK AREAS TO BE 2% MAX SLOPE. ACCESSIBLE STRAIGHTAWAY PATHS TO BE A MAX OF 5%.
2. SEE BUILDING PLANS FOR:
  - A. CONSTRUCTION OF TRASH ENCLOSURE
  - B. INSTALLATION OF SIGNAGE
  - C. STRIPING
3. BUILDING TO HAVE STEM WALL AND WATER PROOFING AS NEEDED. WATER PROOFING NEEDED WHERE FINISHED GRADE ADJACENT TO BUILDING IS LESS THAN 8" FROM FINISHED FLOOR. SEE ARCHITECTURAL PLANS

**DEMOLITION NOTES:**

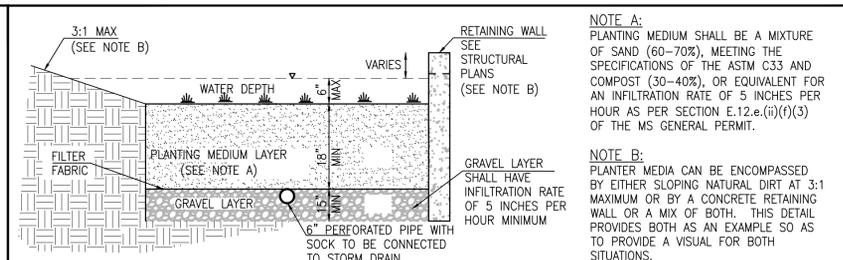
1. ALL ITEMS SHOWN ON EXISTING CONDITIONS (SHEET C1) AND NOT SHOWN HERE ARE PROPOSED FOR DEMOLITION/REMOVAL DURING CONSTRUCTION PHASE.
2. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT OF EXISTING FENCE SURROUNDING PROJECT PROPERTY WITH OWNER.

CONTOUR INTERVALS: 1' MINOR / 5' MAJOR



SAW TOOTH CUT DETAIL

2



ORGANIC SOIL FOR BIO RETENTION PLANTER

1

**NOTE A:**  
PLANTING MEDIUM SHALL BE A MIXTURE OF SAND (60-70%), MEETING THE SPECIFICATIONS OF THE ASTM C33 AND COMPOST (30-40%), OR EQUIVALENT FOR AN INFILTRATION RATE OF 5 INCHES PER HOUR AS PER SECTION E.12.e.(ii)(f)(3) OF THE MS GENERAL PERMIT.

**NOTE B:**  
PLANTER MEDIA CAN BE ENCOMPASSED BY EITHER SLOPING NATURAL DIRT AT 3:1 MAXIMUM OR BY A CONCRETE RETAINING WALL OR A MIX OF BOTH. THIS DETAIL PROVIDES BOTH AS AN EXAMPLE SO AS TO PROVIDE A VISUAL FOR BOTH SITUATIONS.

BENCHMARK ELEVATION: 56.297 NAVD88

2" BRASS DISC IN MONUMENT WELL STAMPED CITY OF WOODLAND CONTROL L-16 AT SW CORNER OF BEAMER STREET AND EAST STREET

**JTS ENGINEERING CONSULTANTS, INC.**  
1808 J STREET  
SACRAMENTO, CALIFORNIA 95811 TEL: (916) 441-6708

DESIGNED:	MAD	SCALE:	
DRAWN:	MAD	H:	1"=20'
CHECKED:	JTS	V:	
SUBMITTED:	JAVED T. SIDDIQUI	RCE:	25924



NO.	DESCRIPTION	ENGR INIT	APPROVAL BY	DATE

PRELIMINARY GRADING AND DRAINAGE PLAN  
**1021 BEAMER STREET, WOODLAND**

COUNTY OF YOLO

APN:005-060-025

CALIFORNIA

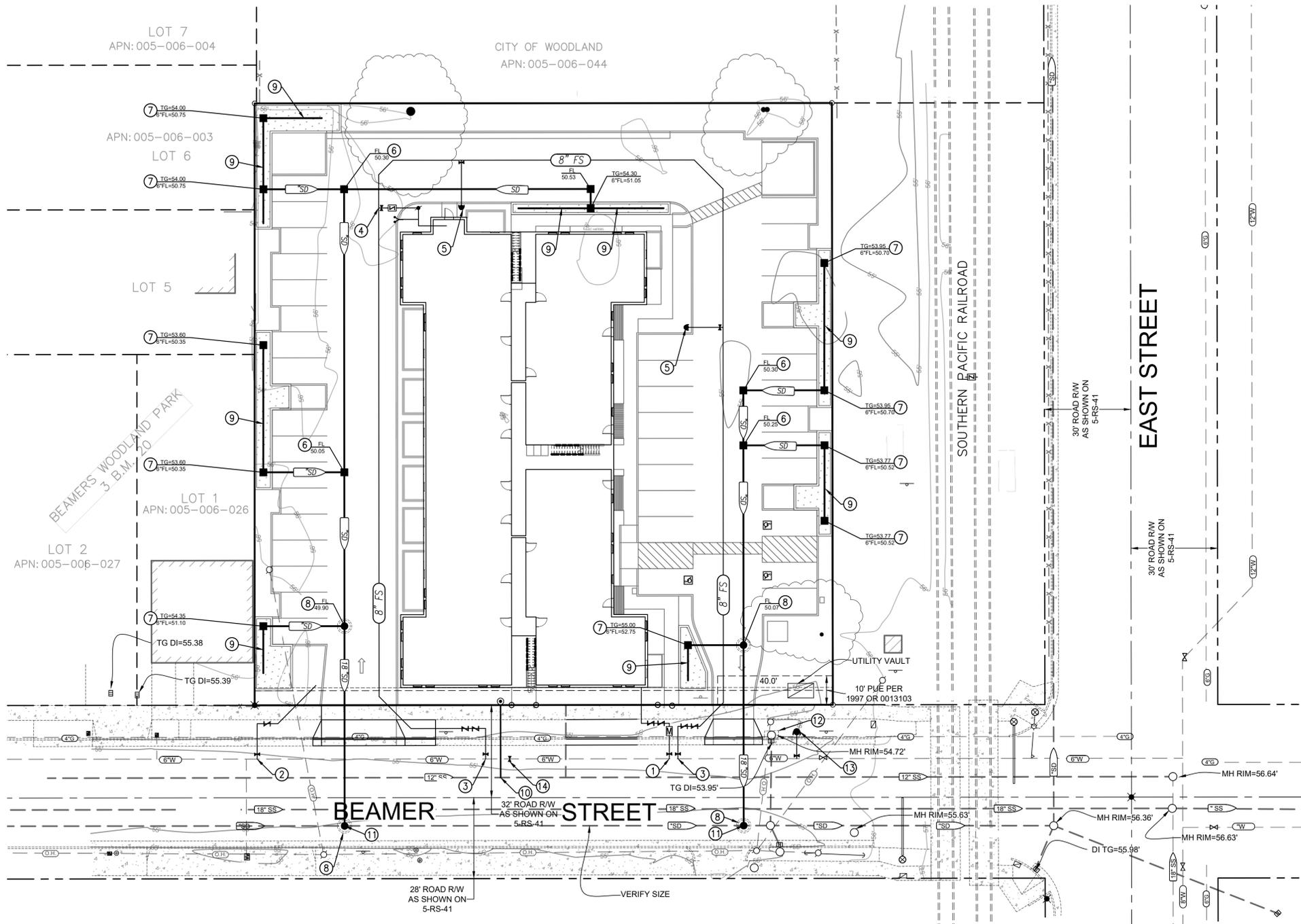
DATE:01/10/2024

SHEET

**C2**

OF 3

JOB NO: 2023-079

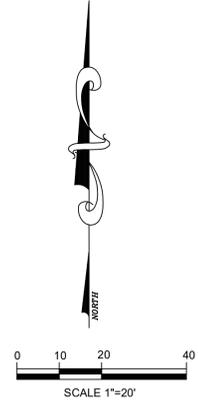


**UTILITY CALLOUTS:**

- ① PROPOSED DOMESTIC WATER SERVICE WITH METER AND RP DEVICE
- ② PROPOSED IRRIGATION WATER SERVICE WITH METER AND RP DEVICE
- ③ PROPOSED FIRE SERVICE MAIN WITH DOUBLE CHECK BACKFLOW DEVICE
- ④ PROPOSED FIRE SPRINKLER SERVICE WITH SINGLE CHECK BACKFLOW DEVICE, PIV, AND FDC
- ⑤ PROPOSED FIRE HYDRANT
- ⑥ PROPOSED JUNCTION BOX
- ⑦ STORM DRAIN INLET
- ⑧ STORMDRAIN MANHOLE PER CITY STANDARDS
- ⑨ 4" PERFORATED PIPE
- ⑩ PROPOSED SEWER SERVICE WITH TWO WAY CLEANOUT AT BUILDING AND PROPOSED CAST IN PLACE SEWER MANHOLE PER CITY OF WOODLAND STANDARD DRAWING 0515 AT CITY SEWER MAIN.
- ⑪ CONTRACTOR TO VERIFY DEPTH OF EXISTING STORMDRAIN PIPE AND REPORT FINDINGS BACK TO ENGINEER.
- ⑫ REPLACE EXISTING DAMAGED CITY DRAIN INLET. PER CITY STANDARDS
- ⑬ PROPOSED PUBLIC FIRE HYDRANT PER CITY OF WOODLAND STANDARD DRAWING 0730
- ⑭ PLACE 6" GATE VALVE ON PUBLIC MAIN.

**UTILITY NOTES:**

CONTRACTOR TO POTHOLE TO DETERMINE IF ANY CONFLICT BETWEEN EXISTING AND PROPOSED UTILITY FACILITIES WITHIN PUBLIC STREET.



BENCHMARK ELEVATION: 56.297 NAVD88  
 2" BRASS DISC IN MONUMENT WELL STAMPED CITY OF WOODLAND CONTROL L-16 AT SW CORNER OF BEAMER STREET AND EAST STREET

**JTS ENGINEERING CONSULTANTS, INC.**  
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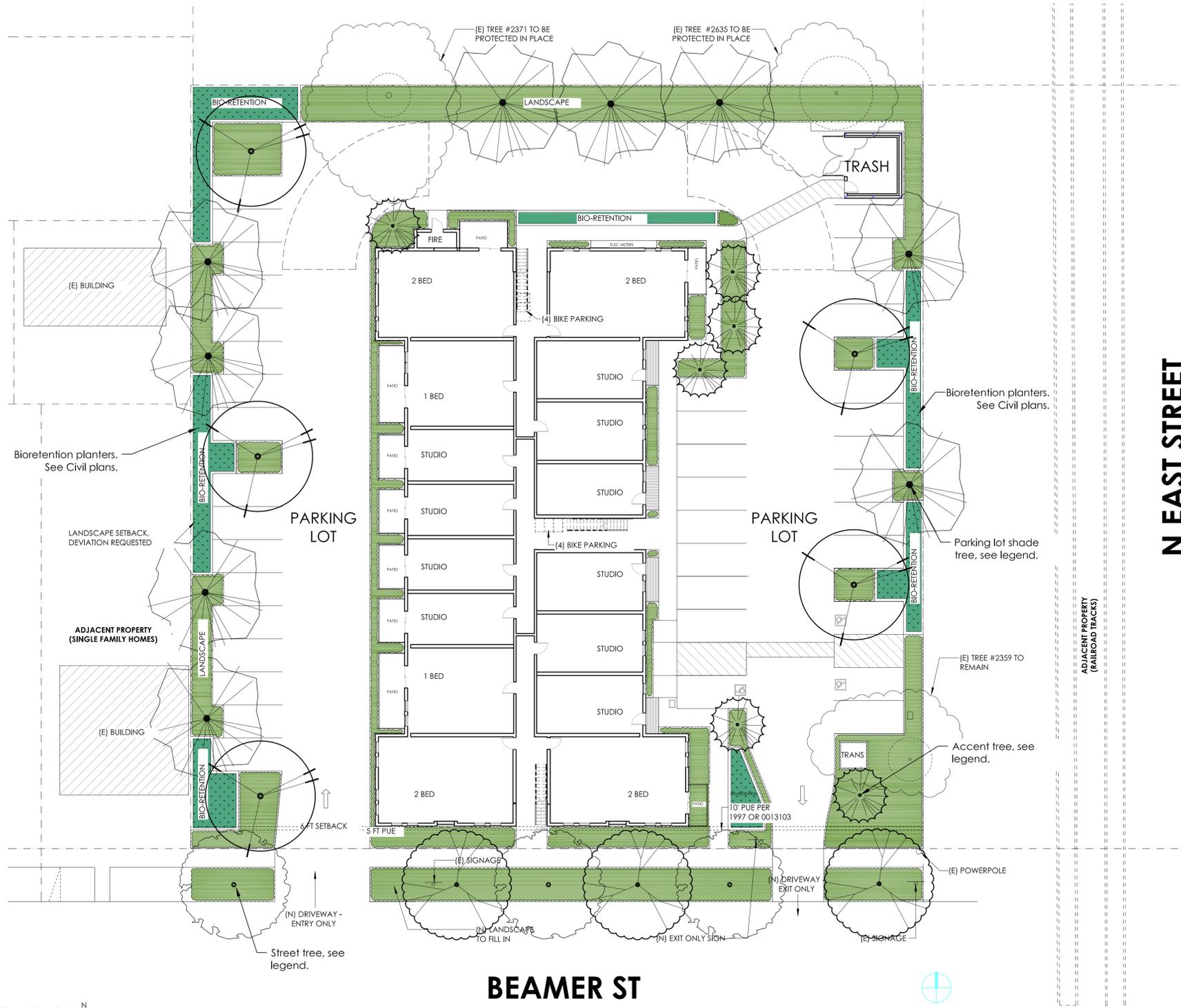
DESIGNED:	MAD	SCALE:	
DRAWN:	MAD	H:	1"=20'
CHECKED:	JTS	V:	
SUBMITTED:	JAVED T. SIDDIQUI	RCE:	25924



NO.	DESCRIPTION	ENGR INIT	APPROVAL	
			BY	DATE

PRELIMINARY UTILITY PLAN  
**1021 BEAMER STREET, WOODLAND**  
 COUNTY OF YOLO APN:005-060-025 CALIFORNIA

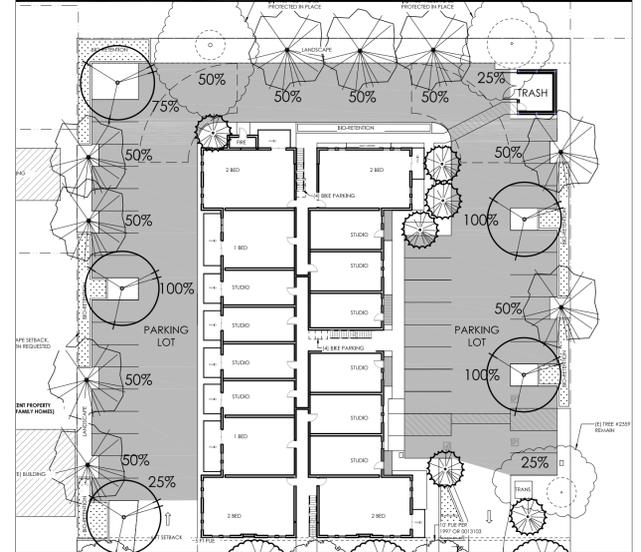
DATE: 01/10/2024  
 SHEET  
**C3**  
 OF 3



### CANDIDATE PLANT LIST

Botanical Name	Common Name	Water Use
<b>Accent Trees</b>		
<i>Acer palmatum</i> 'Sangu Kaku'	Coral Bark Maple	Med
<i>Chitalpa tashkentensis</i> 'Pink Dawn'	Pink Dawn Chitalpa Tree	Low
<i>Cercis canadensis</i> 'Oklahoma'	Eastern Redbud	Low
<b>Parking Lot Trees</b>		
<i>Acer rubrum</i> 'Redpointe'	Redpointe Red Maple	Med
<i>Pistachia chinensis</i>	Chinese Pistache Tree	Low
<i>Ulmus parvifolia</i> 'True Green'	Lacebark Elm Tree	Med
<b>Street Trees</b>		
<i>Acer rubrum</i> 'Redpointe'	Redpointe Red Maple	Med
<i>Quercus shumardii</i>	Shumard Oak	Low
<b>Shrubs/ Perennials/Grasses</b>		
<i>Agave</i> 'Blue Flame'	Blue Flame Agave	Low
<i>Anigozanthos</i> spp.	Kangaroo Paw	Low
<i>Calamagrostis</i> a. 'Karl Forester'	Feather Reed Grass	Low
<i>Calandrinia spectabilis</i> 'Shining Pink'	Rock Purslane	Low
<i>Callistemon</i> v. 'Little John'	Dwarf Bottle Brush	Low
<i>Cistus</i> 'Mickie'	Dwarf Rockrose	Low
<i>Dianella revoluta</i> 'Cool Vista'	Cool Vista Flax Lily	Med
<i>Hesperaloe parvifolia</i> 'Brake Lights'	Brake Lights Red Yucca	Low
<i>Lomandra</i> 'Lime Tuff'	Lime Tuff Matt Rush	Med
<i>Nandina domestica</i> 'Lemon Lime'	Heavenly Bamboo	Low
<i>Pennisetum</i> a. 'Hameln'	Fountain Grass	Low
<i>Perovskia</i> a. 'Blue Jean Baby'	Russian Sage	Low
<i>Salvia greggii</i> 'Furman's Red'	Autumn Sage	Low
<b>Bioretention Plants</b>		
<i>Chondropetalum tectorum</i>	Cape Rush	Med
<i>Carex barbarae</i>	Santa Barbara Sedge	Med
<i>Iris douglasiana</i>	Douglas Iris	Med
<b>Under Oak Plants</b>		
<i>Arctostaphylos</i> 'Emerald Carpet'	Emerald Carpet	Low
<i>Baccharis</i> p. 'Pigeon Point'	Coyote Bush	Low
<i>Ceanothus</i> spp.	California Lilac	Low
<i>Penstemon</i> 'Margarita BOP'	Penstemon	Low
<i>Salvia</i> spathaceae	Hummingbird Sage	Low

### PARKING LOT SHADING



### PARKING LOT SHADE CALCULATION

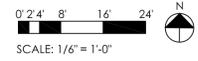
Size	Credit	Sq. Ft.	Shade Credit
35' Dia.	100%	962	(3) (962) = 2,886
	75%	722	(1) (722) = 722
	50%	481	(1) (481) = 5,291
	25%	240	(3) (240) = 720
			Total = 9,619
Total sq. ft. of shaded area in calculation: 9,619			
Total sq. ft. of paved parking in calculation: 17,490			
Percentage of shade provided: 55%			

### PROJECT LANDSCAPE

TOTAL PROPOSED LANDSCAPE AREA: 9,151 SF

### WATER CONSERVATION STATEMENT

The proposed design shall be in compliance with the criteria of the Model Water Efficient Landscape Ordinance, and such criteria shall be applied for the efficient use of water in the irrigation design plan.



A

B

C

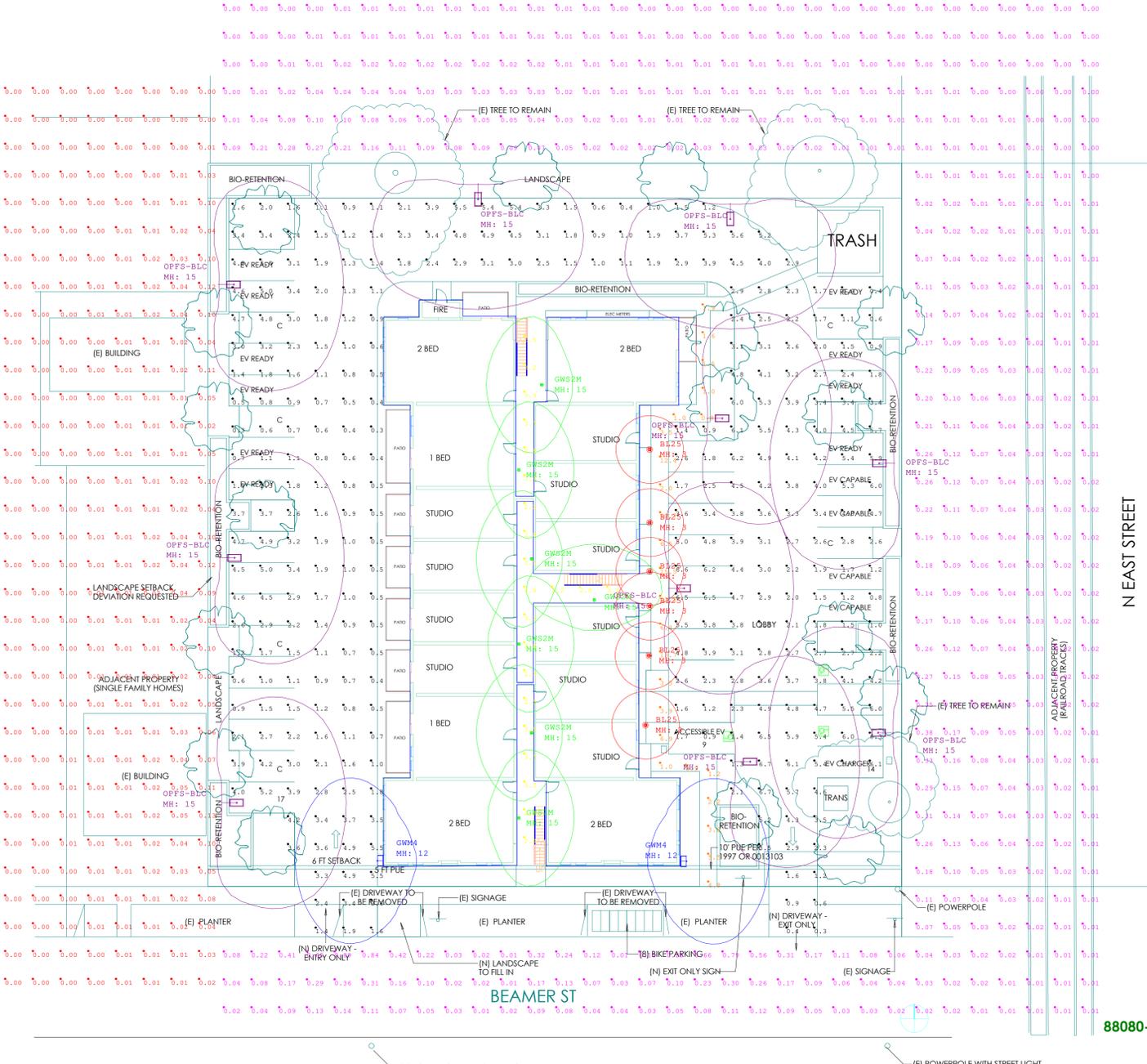
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Luminaire Schedule											
Project: Beamer Apartments - Site Lighting											
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height	BUG Rating	LER
⊕	6	BL25	Single	BL25-NW-G1-5-8-BZ	0.850	2539	26.2	157.2	3	B1-U3-G2	97
⊕	7	GWS2M	Single	GWS-A02-740-T2M	0.850	2895	16.89	118.23	15	B1-U0-G1	171
⊕	2	GWM4	Single	GWM-A08-740-T4M	0.850	5188	30	174	12	B1-U0-G1	174
⊕	10	OPFS-BLC	Single	OPF-S-A03-740-BLC	0.850	7694	64	640	15	B1-U0-G2	121

Calculation Summary						
Project: Beamer Apartments - Site Lighting						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Center Walkway between bldgs	ILLUMINANCE	Fc	3.11	4.8	2.2	1.41
East Side Walkway FC at Grade	ILLUMINANCE	Fc	5.01	15.5	0.8	6.26
Paved Area FC at Grade	ILLUMINANCE	Fc	2.77	6.7	0.3	9.23
Spill Beyond Prop Lines	ILLUMINANCE	Fc	0.06	0.89	0.00	N.A.
West Side Light Spill at Grade	ILLUMINANCE	Fc	0.01	0.13	0.00	N.A.

ALL FIXTURE MOUNTING HEIGHTS ARE SHOWN ADJACENT TO FIXTURE LOCATIONS ON PLAN  
 IT IS THE INTENT OF THIS PLAN TO INDICATE NEW LED FIXTURES AT POLE/FIXTURE LOCATIONS AS SHOWN  
 PLEASE NOTE THAT THE FIXTURE CONFIGURATION SHOWN MAY NOT INCLUDE ALL OPTIONS/ACCESSORIES/COLOR INFORMATION FOR FINAL BILL OF MATERIAL

ALL VALUES SHOWN ARE HORIZONTAL MAINTAINED FOOTCANDLES AT FINISHED GRADE (U.O.N.)  
 FIXTURE DISTRIBUTION TEMPLATES ARE SHOWN AT 0.50 MFC FOR REFERENCE USE ONLY  
 VALUES DO NOT INCLUDE CONTRIBUTION FROM ADJACENT PROPERTIES, STREET OR DECORATIVE LIGHTING NOT SHOWN  
 FOOTCANDLE VALUES DO NOT INCLUDE OBSTRUCTIONS FROM TREES, SHRUBS, LANDSCAPING, VEHICLES OR FENCING



# BEAMER APARTMENTS - LED SITE LIGHTING PHOTOMETRIC PLAN

Scale: 1 inch= 20 Ft.

REVISION	DESCRIPTION	BY	DATE
2	Added bollards, moved & lowered fixtures	RH	1/11/2024
1	Center walkway added	RH	12/27/2023



THE CALCULATIONS AND DATA HEREIN ARE BASED ON PROJECT SPECIFICATIONS PROVIDED TO SIGNIFY / PHOTOMETRIC. AS NOTED, AS MEASURED VALUES MAY DIFFER FROM PROVIDED VALUES DUE TO VARIATIONS IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT SPECIFICATIONS, CURRENT PERFORMANCE, MEASUREMENT TECHNIQUES AND INSTRUMENTATION. SIGNIFY AND PHOTOMETRIC DO NOT WARRANT ANY RESULTS OR PERFORMANCE. PHOTOMETRIC, SIGNIFY AND PHOTOMETRIC ARE NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS. PHOTOMETRIC, SIGNIFY AND PHOTOMETRIC ARE NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS. PHOTOMETRIC, SIGNIFY AND PHOTOMETRIC ARE NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS. PHOTOMETRIC, SIGNIFY AND PHOTOMETRIC ARE NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS.

DRAWN BY:	DA	DATE:	11/14/2023
SALESPERSON:	PETER CONTOIS	SALES AGENT :	...
SIGNIFY TEAM:	NATIONAL ACCOUNTS	DRAWING SCALE:	AS NOTED

DRAWING NUMBER:	88080-03865
SALES FORCE ID:	0400936718

DRAWING TITLE:	BEAMER APARTMENTS LED SITE LIGHTING PHOTOMETRIC PLAN
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